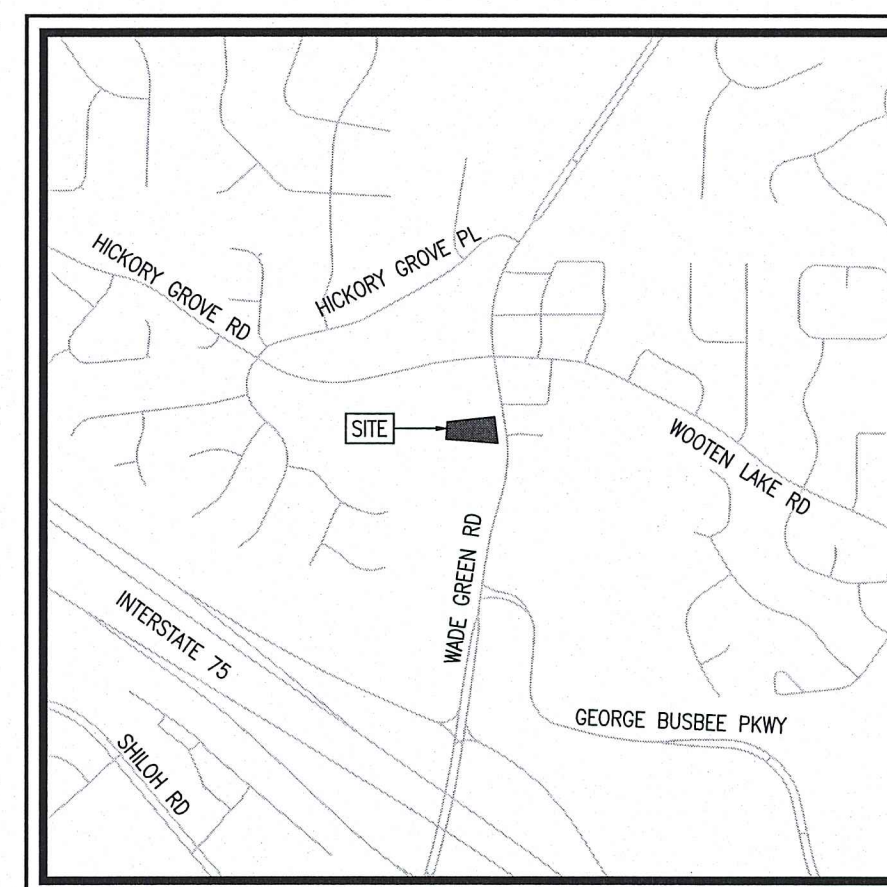


SITE DEVELOPMENT PLANS FOR STARBUCKS KENNESAW 4383 WADE GREEN ROAD

PARCEL # 20 0055 0 216 0
LAND LOT 55, 20th DISTRICT, 2nd SECTION
COBB COUNTY, GEORGIA
0.708-ACRE SITE
ISSUED: 04.03.2019
PROJECT # 18365
REVISED: 05.15.2019

Sheet Index	
Sheet Number	Sheet Title
C101	EXISTING CONDITIONS
C111	DEMOLITION PLAN
C201	SITE PLAN
C301	GRADING & DRAINAGE PLAN
C302	WATER QUALITY UNIT DETAILS
C411	ES&PC PLAN
C431	ES&PC DETAILS
C501	UTILITY PLAN
C502	UTILITY DETAILS
C901	GENERAL DETAILS
L201	TREE MANAGEMENT PLAN
L202	LANDSCAPE DETAILS
42255	LIGHTING PLAN
RZ CD	REZONING CONDITIONS



VICINITY MAP

SCALE: 1" = 1000'

SITE PLAN REVIEW PROJECT #
SPR-2019-00117

FOR SURVEYING & STAKING
INFORMATION:
CONTACT: MARK DUNLAP, RLS
Ph: (706) 202-8839 / mdunlap@waengineering.com

OWNER:

POP KENNESAW CGB LLC
361 SUMMIT BLVD., SUITE 110
VESTAVIA, ALABAMA 35243
ATTN: KIRK FARRELLY, P.E.
205.263.4589

DEVELOPER:

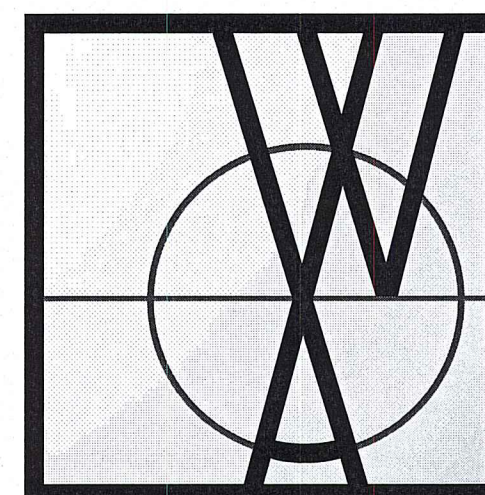
POP KENNESAW CGB LLC
361 SUMMIT BLVD., SUITE 110
VESTAVIA, ALABAMA 35243
ATTN: KIRK FARRELLY, P.E.
205.263.4589

ENGINEER:

W&A ENGINEERING
2470 DANIELLS BRIDGE ROAD
STE. 161
ATHENS, GEORGIA 30606
ATTN: FRANK PITTMAN, PE
703.310.0400

SURVEYOR:

W&A ENGINEERING
2470 DANIELLS BRIDGE ROAD
STE. 161
ATHENS, GEORGIA 30606
ATTN: MARK DUNLAP, RLS
703.310.0400



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2470 Daniels Bridge Road, Suite 161, Athens, GA 30606
P: (706) 310-0400 • F: (706) 310-0411
waengineering.com

TOTAL PROJECT AREA
0.708 ACRES
TOTAL DISTURBED AREA
0.73 ACRES TOTAL (INCLUDES 0.0 ACRES IN THE ROW)
TOTAL IMPERVIOUS AREA
0.50 ACRES

Know what's below.
Call before you dig.



TREE / LANDSCAPE PLAN APPROVAL
This plan is in compliance with all tree preservation and/or landscaping requirements of the Cobb County Code. If any changes must be made due to plant availability, site conditions or other reasons, a new plan must be submitted to the Community Development Site Plan Review Section for review and approval before the changes are implemented. Failure to obtain the necessary plan approval will result in a delay in the final project approval.

APPROVED FOR EROSION CONTROL ONLY.
ALL EROSION & SEDIMENT DEVICES/BMPs,
MUST BE INSTALLED PRIOR TO CONSTRUCTION
OF ANY BUILDING. 5-20-19

COBB COUNTY WATER SYSTEM
Approval, errors or omissions do not
relieve Architect, Developer or
Contractor from compliance with
applicable codes and specifications.

BY: [Signature] DATE: 5/20/19

COBB COUNTY GEORGIA
APPROVED FOR CONSTRUCTION
BY DEVELOPMENT AND
INSPECTIONS DIV.
LAND DISTURBANCE PERMIT
NO. SPR-2019-00117
BY: C. Archuleta DATE: 5-20-19
Full Site

COBB COUNTY FIRE MARSHAL'S OFFICE
SITE APPROVAL ONLY
DATE: 5-20-19 REP: [Signature]
ANY VARIATION FROM THIS PLAN
SHALL REQUIRE REVISIONS
TO BE SUBMITTED & APPROVED
WWW.COBBFIRE.ORG

APPROVAL STAMPS
APPROVED COBB DOT
MAY 20 2019
Grading Only
Pending Full Permit

SITE VISIT CERTIFICATION
I, JON WILLIAMS, HEREBY CERTIFY THAT I OR MY AUTHORIZED AGENT UNDER MY SUPERVISION, HAVE VISITED THE SITE PRIOR TO THE CREATION OF THE EROSION, SEDIMENT AND POLLUTION CONTROL PLAN AND HAVE VERIFIED THE PRESENCE OR LACK THEREOF OF ALL STATE WATERS ON OR ADJACENT TO THE SITE.

SIGNATURE: [Signature] DATE SIGNED: 05.15.2019
PRINTED NAMES: JON WILLIAMS TITLE: LANDSCAPE ARCHITECT
GSWCC LEVEL II CERTIFICATION # 3588

OWNER'S CERTIFICATION
AS THE OWNER OF THIS LAND, AS SHOWN ON THIS SITE PLAN, OR HIS AGENT, I CERTIFY THAT THIS DRAWING WAS MADE FROM AN ACTUAL SURVEY, AND ACCURATELY PORTRAYS THE EXISTING LAND AND ITS FEATURES AND THE PROPOSED DEVELOPMENT AND IMPROVEMENTS THEREON.

OWNER NAME: JON WILLIAMS, AGENT FOR OWNER
SIGNED: [Signature] DATE: 05.15.2019

SITE VISIT CERTIFICATION
I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION, AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100001.

NPDES CERTIFICATION:
CONSTRUCTION OF THIS PROJECT WILL INVOLVE LAND DISTURBANCE EQUAL TO OR GREATER THAN 1 ACRE(S), OR IS A PART OF A COMMON DEVELOPMENT REQUIRING AN NPDES PERMIT, AND MUST COMPLY WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FOR CONSTRUCTION ACTIVITIES (GENERAL PERMIT NO. GAR 100001, GAR 100002, OR GAR 100003). THE OWNER/CONTRACTOR OR AUTHORIZED REPRESENTATIVE SHALL BE RESPONSIBLE FOR PREPARATION OF THE NECESSARY NOTICE OF INTENT (NOI) AND APPROPRIATE EROSION, SEDIMENT AND POLLUTION CONTROL PLAN REQUIREMENTS THAT COMPLY WITH ALL ASPECTS OF THE NPDES PERMIT FOR CONSTRUCTION ACTIVITIES.

SIGNATURE: [Signature] DATE SIGNED: 05.15.2019
PRINTED NAMES: JON WILLIAMS TITLE: LANDSCAPE ARCHITECT
GSWCC LEVEL II CERTIFICATION # 3588

OWNER / OPERATOR'S CERTIFICATION
I CERTIFY THAT THE RECEIVING WATER(S) OR THE OUTFALL(S) OR A COMBINATION OF RECEIVING WATER(S) AND OUTFALL(S) WILL BE MONITORED IN ACCORDANCE WITH THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN.

I CERTIFY THAT THE EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN (PLAN) HAS BEEN PREPARED IN ACCORDANCE WITH PART IV OF THE GENERAL NPDES PERMIT NO. GAR100001, NO. GAR100002 OR NO. GAR100003. THE PLAN WILL BE IMPLEMENTED, AND THAT SUCH PLAN WILL PROVIDE FOR COMPLIANCE WITH THIS PERMIT.

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT CERTIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINES AND IMPRISONMENT FOR KNOWING VIOLATIONS.

OWNER OPERATOR'S SIGNATURE (TO BE SIGNED AT THE PRE-CONSTRUCTION MEETING)

COBB COUNTY FIRE DEPARTMENT NOTES:
THIS SITE PLAN REVIEW IS LIMITED IN SCOPE TO SITE PREPARATION FOR CONSTRUCTION. THE EGRESS COMPONENTS HAVE NOT BEEN REVIEWED. ALL BUILDING(S), STRUCTURE(S), EGRESS COMPONENTS, INCLUDING RAMPS AND STAIRS MUST BE SUBMITTED SEPARATELY TO THE FIRE MARSHAL'S OFFICE FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. INDEPENDENT BUILDING PERMITS ARE REQUIRED IN ADDITION TO THE LAND DISTURBANCE PERMIT. THE PERSON IDENTIFIED BELOW IS DESIGNATED AT THE DESIGN PROFESSIONAL RESPONSIBLE FOR ALL MEANS OF EGRESS COMPONENTS OUTSIDE OF THE BUILDING.

NAME: FRANK PITTMAN, P.E. PHONE: 706 310 0400

COBB COUNTY ZONING DEPARTMENT NOTES:
THE COBB COUNTY CEMETERY PRESERVATION COMMISSION RESERVES THE RIGHT TO EXAMINE THIS PROPERTY FOR ETHNIC, CULTURAL AND RELIGIOUS EVIDENCE LOCATED THEREIN. IF ANY ETHNIC, CULTURAL OR RELIGIOUS EVIDENCE IS FOUND DURING DEVELOPMENT, THEN THE COBB COUNTY CEMETERY PRESERVATION COMMISSION MUST BE NOTIFIED AT ONCE AT (770) 528-2035. FAILURE TO DO SO WILL RESULT IN A STOP-WORK ORDER.

COBB COUNTY ACCEPTS NO RESPONSIBILITY FOR THE AMERICANS WITH DISABILITIES ACT (ADA), EXCEPT FOR NOTIFICATION REQUIREMENT. THE OWNER/DEVELOPER IS SOLELY RESPONSIBLE FOR COMPLIANCE WITH SAID ACT.

ANY CONSTRUCTION TRAILERS TO BE PERMITTED THROUGH THE ZONING DIVISION.

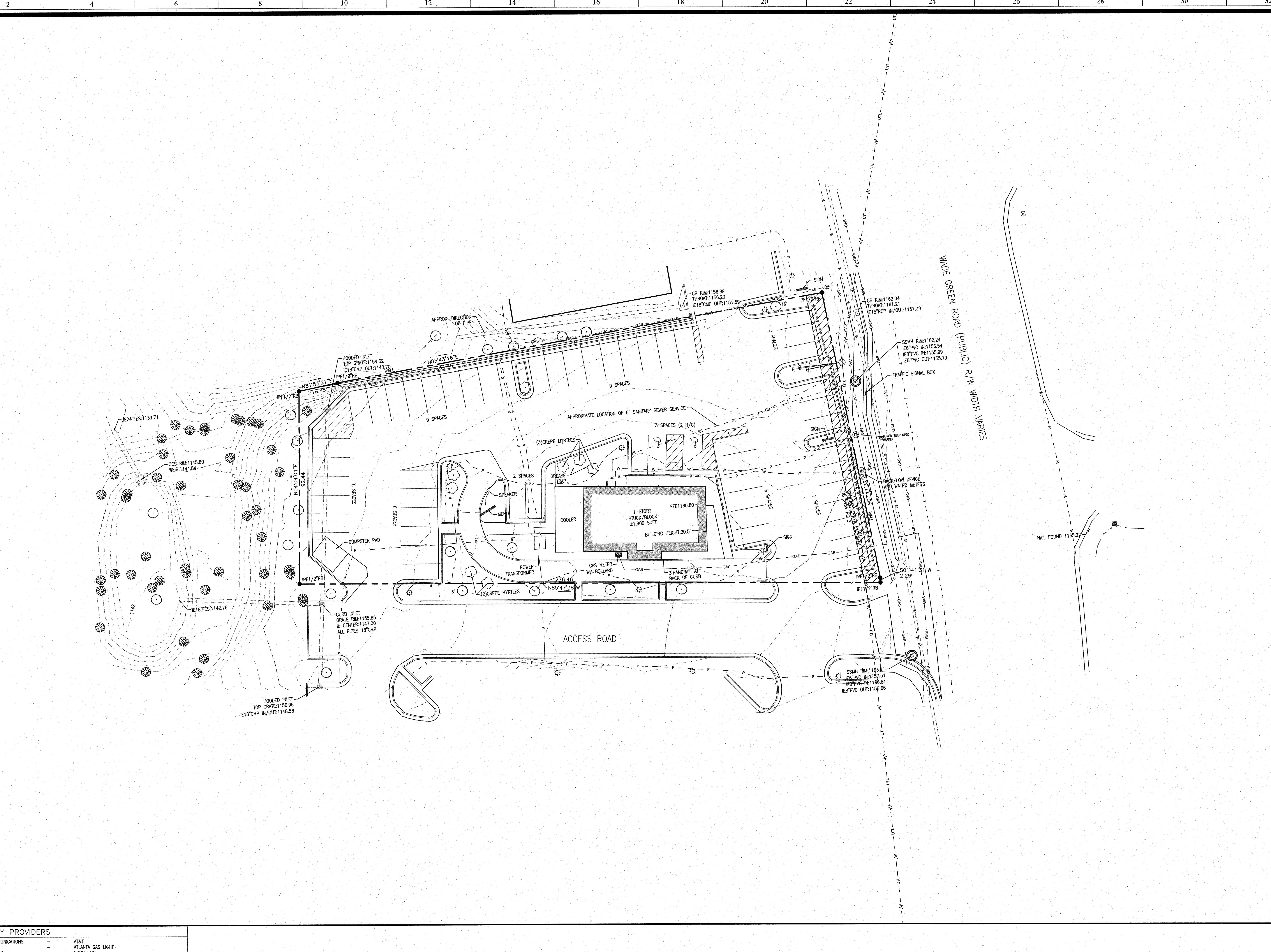
ANY SIGNS TO BE PERMITTED THROUGH THE COBB COUNTY ZONING DIVISION; I.E., SUBDIVISION ENTRANCE SIGNS, MONUMENTS, AND ALL COMMERCIAL SIGNS. THE LOCATION OF SUBDIVISION SIGNS MUST ALSO BE SHOWN ON THE PLANS.

COBB COUNTY TREE PRESERVATION NOTES:
A LANDSCAPE CONFERENCE IS REQUIRED FOR THIS PROJECT PRIOR TO ANY FINISH LANDSCAPING. CALL THE COBB COUNTY ARBORIST AT (770) 528-2124 OR LANDSCAPE ARCHITECT AT (770) 528-2149. THERE ARE CRITICAL FACTORS ON THE LANDSCAPE PLAN THAT AFFECT BOTH THE GENERAL CONTRACTOR AND THE LANDSCAPE CONTRACTOR. PLANTING AREA DIMENSIONS, PLANTING METHODS AND AS WELL AS PLANT MATERIALS MUST BE IN ACCORDANCE WITH THE APPROVED PLAN. THE LANDSCAPE INSPECTOR MAY DELAY THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.

24 HR CONTACT:
POP KENNESAW CGB LLC
361 SUMMIT BLVD., SUITE 110
VESTAVIA, ALABAMA 35243
ATTN: KIRK FARRELLY, P.E.
205.263.4589

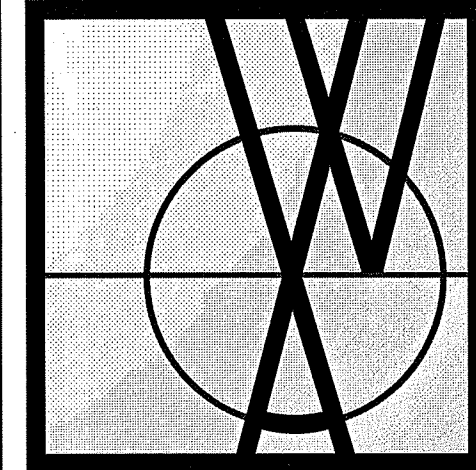
SHOULD 24 HOUR CONTACT CHANGE, NOTIFICATION MUST BE MADE TO BUILDING INSPECTOR IMMEDIATELY.

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UTILITY PROVIDERS	
TELECOMMUNICATIONS	AT&T
GAS	ATLANTA GAS LIGHT
ELECTRICITY	COBB EMC
WATER	COBB COUNTY WATER
SEWER	COBB COUNTY SEWER

SCALE 1" = 20'



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STARBUCKS KENNESAW

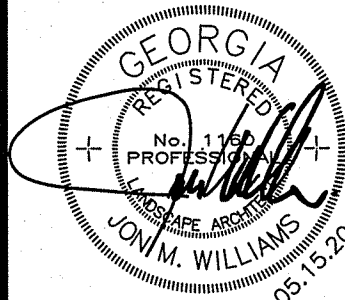
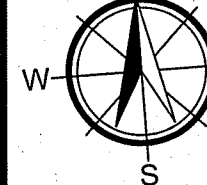
COBB COUNTY, GEORGIA
4383 WADE GREEN ROAD - 0.708 ACRES

DATE: 04.03.2019

REVISIONS

DATE	COMMENT
05.08.19	REVISED PER COBB COUNTY COMMENTS

Know what's below.
Call before you dig.



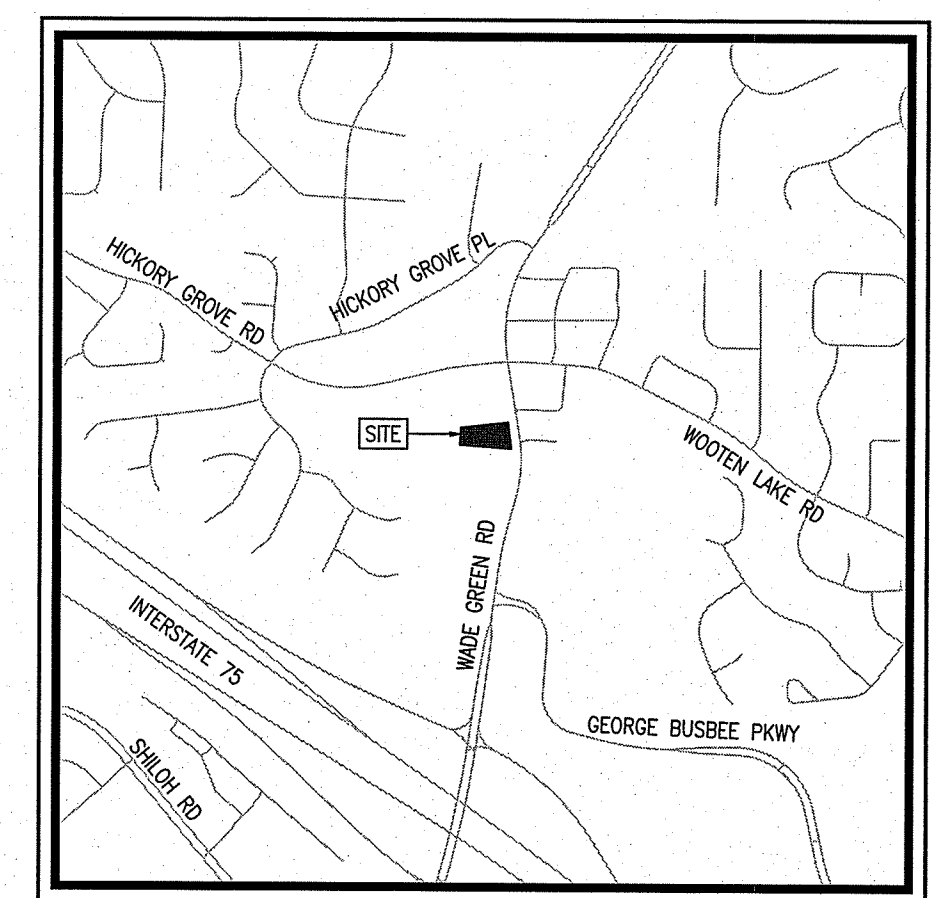
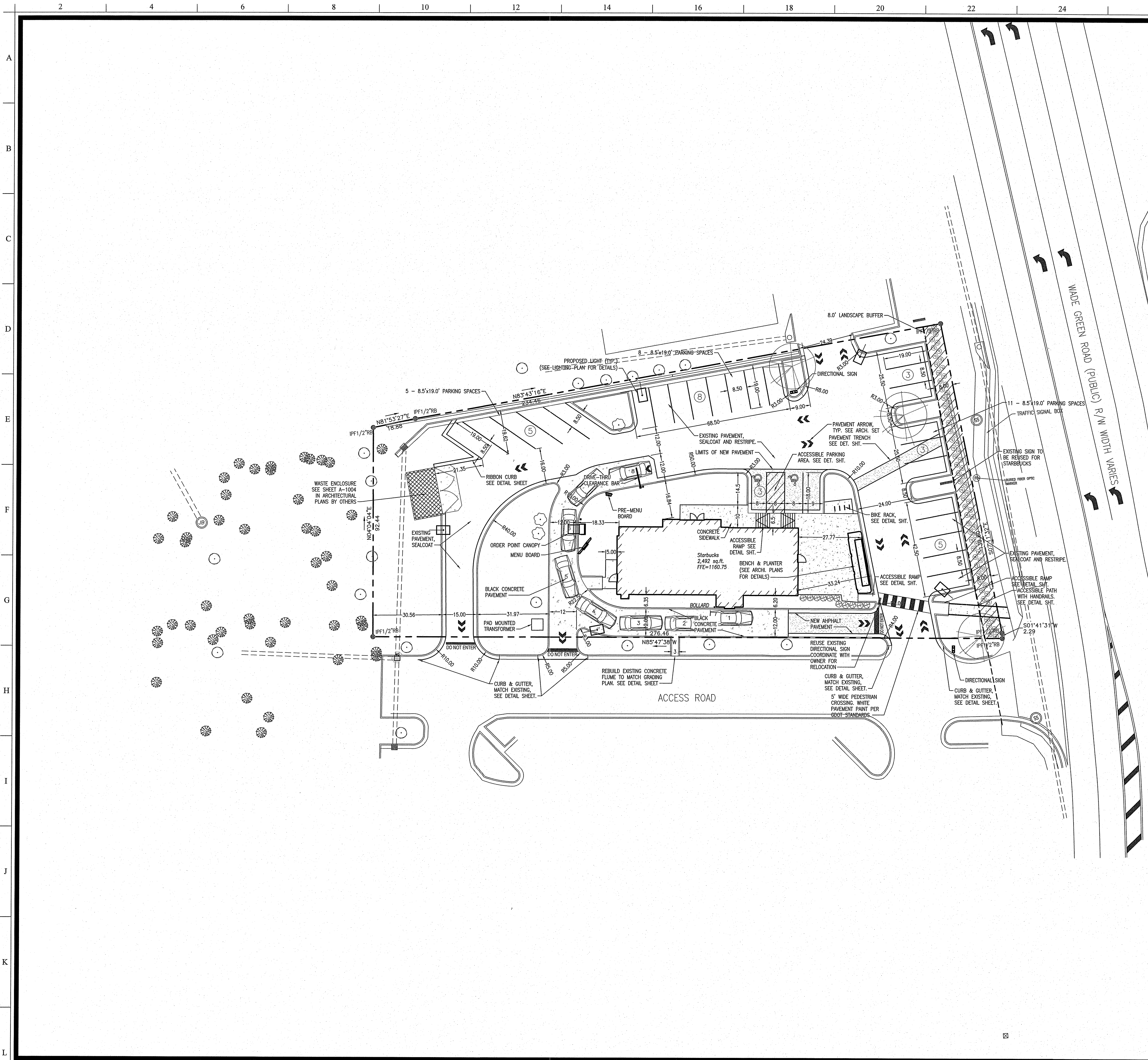
18365

EXISTING
CONDITIONS

C101

PERMIT SET

X:\Projects\18365 Starbucks Kennesaw Design\Const Drawings\18365 Starbucks Kennesaw CD's.dwg 5/16/19 10:49:06 AM Innot



VICINITY MAP
SCALE: 1" = 1000'

SITE COVERAGE DATA	
TOTAL PROJECT ACRES: 0.709 ACRES (30,884 SF)	
EXISTING LOT COVERAGE:	
CONCRETE PAVING AND DRIVE:	24,265 SF (78.6% OF SITE)
BUILDINGS:	2,299 SF (7.4% OF SITE)
TOTAL IMPERVIOUS:	26,564 SF OR 86%
PROPOSED LOT COVERAGE:	
BUILDINGS TOTAL:	2,529 SF (8.19% OF SITE)
PAVING: CONCRETE, ASPHALT:	19,409 SF (61.68% OF SITE)
TOTAL IMPERVIOUS:	21,938 SF OR 69.87% OF SITE
TOTAL PERVIOUS AREA:	9,306 SF (30.13% OF NET SITE)
REQUIRED: 30% PERVIOUS AREA	
PROPOSED: 30.13% PERVIOUS AREA	
PARKING DATA	
REQUIRED PARKING:	
EATING & DRINKING ESTABLISHMENTS:	1 SPACE PER 100 S.F. OF SEATING AREA INCLUDING ANY PATIO SEATING.
1,946 SF/100 = 20 REQUIRED SPACES	
PROPOSED PARKING: 27 TOTAL SPACES, INCLUDING 2 ADA & 5 COMPACT.	
BUILDING DATA	
2,492 SF, 8 EMPLOYEES, 72 SEATING (INCLUDING PATIO):	
EXISTING UTILITIES NOTE	
THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO DIGGING. INCLUDING GAS, ELECTRICAL AND TELECOMMUNICATION LINES. EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE. ANY DAMAGE TO SUCH UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. W&A ENGINEERING SHALL BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY.	
EROSION CONTROL NOTES	
EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND SHALL BE MAINTAINED UNTIL A PERMANENT GROUND COVER IS ESTABLISHED.	
SOIL EROSION PREVENTION METHODS THAT ARE DEEMED NECESSARY ON THIS SITE WILL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL ORDINANCES AND CODES.	
PLANT LEGEND	
SUGAR MAPLE (1.5" MIN. CALIPER) (3 PROPOSED TREES TOTAL)	
COBB COUNTY NOTES	
THE PARKING LOT AND PARKING SPACES SHALL CONFORM TO COUNTY DETAIL #114 ON SHEET C901.	
NO PERMANENT SIGN(S), FLAG POLE(S), PROPOSED FIRE HYDRANTS, POWER TRANSFORMERS, SIDEWALKS OR ADA RAMPS WILL BE PLACED IN CONFLICT WITH AN ORDINANCE CODED OR APPROVED TREE PLANTING LOCATION.	
THE COBB COUNTY ARBORIST OR LANDSCAPE ARCHITECT MUST APPROVE THE SITE LIGHTING PLAN. LIGHT POLES ARE NOT PERMITTED IN PARKING PENINSULAS, ISLANDS AND MEDIANS WITHOUT THE PRIOR APPROVAL OF THE COUNTY ARBORIST. 20' MINIMUM SPACING IS REQUIRED BETWEEN THE TRUNK OF ANY PROPOSED OVER-STORY HARDWOOD TREE (OR EXISTING TREE COUNTED FOR TREE ORNAMENT CREDIT) AND ANY EXISTING OR PROPOSED LIGHT POLE. IF THE SERVICE PROVIDER (ELECTRIC COMPANY) PROVIDES A LIGHTING PLAN, IT MUST ADHERE TO THE LIGHTING PLAN SHOWN IN THE CIVIL ENGINEERING DRAWINGS APPROVED BY COBB COUNTY FOR THE LAND DISTURBANCE PERMIT. IF A LIGHTING PLAN IS NOT PART OF THE CIVIL DRAWINGS, THE LIGHTING PLAN DESIGNER MUST SUBMIT A PLAN TO THE ARBORIST/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. IF SITE LIGHTING IS INSTALLED WITHOUT AN APPROVED PLAN, THE CERTIFICATE OF OCCUPANCY WILL BE WITHHELD UNTIL ALL CONFLICTING POWER POLES ARE MOVED. CALL 770-528-2147.	

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STARBUCKS KENNESAW

COBB COUNTY, GEORGIA

4383 WADE GREEN ROAD - 0.708 ACRES

DATE: 04.03.2019	
REVISIONS	
DATE	COMMENT
05.08.19	REVISED PER COBB COUNTY COMMENTS

Know what's below.
Call before you dig.

18365

SITE PLAN

C201

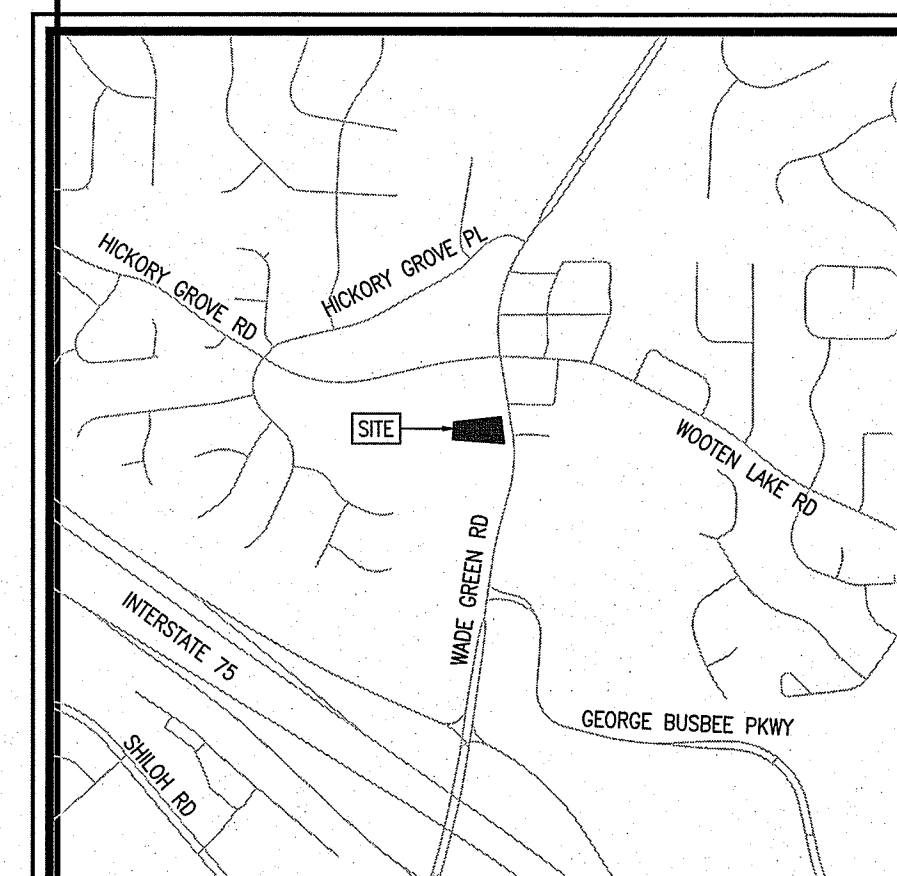
COBB COUNTY APPROVED FOR CONSTRUCTION

PERMIT SET

- GRADING NOTES**
- THESE NOTES ARE FOR GRADING AND DRAINAGE PURPOSES ONLY. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ALL EXISTING UTILITIES (ABOVE OR BELOW GROUND) AS SHOWN ON THESE PLANS ARE APPROXIMATE. LOCATIONS WERE BASED ON EITHER VISUAL OBSERVATIONS AT THE SITE, EXISTING SURVEYS AND/OR FROM UTILITY OWNERS. WILLIAMS & ASSOCIATES (ENGINEER) AND THE OWNER DO NOT GUARANTEE THAT THE EXISTING UTILITIES LOCATIONS SHOWN ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE OR BELOW GROUND) BEFORE BEGINNING ANY CONSTRUCTION.
 - THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES AND THE UTILITIES PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER AND/OR W&A ENGINEERING OF ANY UTILITY CONFLICTS WITH THE PROPOSED IMPROVEMENTS AS SHOWN ON PLANS WITHIN 24 HOURS OF DISCOVERY. ANY DAMAGE TO SUCH UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 - IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - THE CONTRACTOR SHALL ADHERE TO:
 - ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
 - ALL "GOVERNING AGENCY" ORDINANCES AND DEVELOPMENT REQUIREMENTS AS DEFINED BY GOVERNING AGENCIES RULES AND REGULATIONS.
 - SITE GRADING SHALL NOT PROCEED UNTIL TREE PROTECTION FENCING (IF REQUIRED), EROSION CONTROL AND MONITORING EQUIPMENT HAS BEEN INSTALLED.
 - SITE CLEARING AND GRADING SHALL NOT PROCEED UNTIL 14 DAYS AFTER AN NOI HAS BEEN FILED WITH THE GEORGIA EPD.
 - GRADES SHOWN HEREON ARE FINISHED GRADES. ALL SPOT ELEVATIONS ARE AT FINISHED GRADE. ALL SPOT ELEVATIONS ARE TO GUTTER LINE OR BOTTOM OF CURB UNLESS OTHERWISE NOTED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE SUBGRADES.
 - CONTRACTOR SHALL GRADE ALL CUT OR FILL SLOPES AS SHOWN ON PLANS BUT SHALL NOT EXCEED A MAXIMUM OF 3' HORIZONTAL TO 1' VERTICAL UNLESS OTHERWISE NOTED.
 - ALL FILL MATERIAL IN THE PAVED AREAS TO BE COMPACTED TO 98% OF THE STANDARD PROCTOR DENSITY. ALL FILL MATERIAL IN THE PROPOSED BUILDING AREA AND UNDERNEATH ALL FOOTINGS IS TO BE COMPACTED TO 100% STANDARD PROCTOR DENSITY. UNDERCUTTING IS REQUIRED IN ALL AREAS WHERE MATERIALS ARE DETERMINED TO BE UNSUITABLE FOR STRUCTURAL BACKFILL MATERIAL. ALL FILL AREAS ARE TO BE BROUGHT TO SPECIFIED COMPACTION AND SUBGRADE ELEVATIONS PRIOR TO SANITARY SEWER, STORM DRAINAGE OR WATERLINE INSTALLATION. COMPACTION SHALL BE VERIFIED BY AN APPROVED TESTING AGENT PRIOR TO UTILITY INSTALLATION.
 - ALL DISCREPANCIES IN THE EXISTING OR PROPOSED GRADING PLAN SHOULD BE REPORTED TO W&A ENGINEERING IMMEDIATELY.
 - TREES, STUMPS, ROOTS, DEBRIS, JUNK AND OTHERWISE DELETERIOUS MATERIAL MAY NOT BE BURIED OR DISPOSED OF ON SITE.
 - ALL AREAS TO BE GRADED ARE TO BE CLEARED AND HAVE TOPSOIL REMOVED AND STOCKPILED. FILL AREAS SHOULD BE SCARIFIED TO A DEPTH OF 6" PRIOR TO PLACING FILL MATERIAL.
 - ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS AND NOT DESIGNATED TO HAVE PERMANENT LANDSCAPING SHALL RECEIVE 4 INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES INDICATED ON THE EROSION CONTROL PLANS. SEE LANDSCAPE PLANS FOR MORE DETAILS.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. GRADES ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 5% GRADES ALONG HANDICAP RAMPS SHALL NOT EXCEED 8.33%.
 - PRIOR TO PERFORMING ANY LAND DISTURBING ACTIVITIES OR WHEN WORK IS TO BE PERFORMED WITHIN 10 FEET OF HIGH VOLTAGE OVERHEAD POWER LINES, THE CONTRACTOR IS REQUIRED BY LAW TO NOTIFY THE UTILITY PROTECTION CENTER AT 1.800.282.7411. A 72 HOUR ADVANCED NOTICE IS REQUIRED.
 - CONCRETE FOR SITE WORK SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
 - FFE = FINISHED GROUND FLOOR ELEVATION. ALL SPOT ELEVATIONS ARE RELATIVE TO TOPOGRAPHIC INFORMATION.
 - THE CONTRACTOR SHALL COORDINATE ALL UTILITY INSTALLATIONS.

COBB COUNTY NOTE

ALL STORMWATER INFRASTRUCTURES ON THIS SITE ARE PRIVATELY OWNED, AND ANY MAINTENANCE OR REPLACEMENT IS THE OWNER'S RESPONSIBILITY.



VICINITY MAP

SCALE: 1" = 1000'

EXISTING UTILITIES NOTE

THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO DIGGING, INCLUDING GAS, ELECTRICAL AND TELECOMMUNICATION LINES. EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE. ANY DAMAGE TO SUCH UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. W&A ENGINEERING SHALL BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY.

EROSION CONTROL NOTES

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND SHALL BE MAINTAINED UNTIL A PERMANENT GROUND COVER IS ESTABLISHED.

SOIL EROSION PREVENTION METHODS THAT ARE DEEMED NECESSARY ON THIS SITE WILL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL ORDINANCES AND CODES.

STORM DRAINAGE NOTES

- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND INVERTS OF EXISTING STORM DRAIN LINES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO W&A ENGINEERING.
- EXISTING DRAINAGE STRUCTURES ARE TO BE INSPECTED AND REPAIRED AS NEEDED. CONTRACTOR IS RESPONSIBLE FOR CLEANING DEBRIS FROM EXISTING PIPES AND SHALL BE INCLUDED IN BASE BID.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO RAISE AND LOWER ALL INLETS AND TOPS TO MATCH FINAL GRADES AND TO ENSURE THAT ALL INLETS FUNCTION PROPERLY WITH NO PONDING IN THE DRAINAGE AREA. ANY DRAINAGE AREAS THAT DO NOT FUNCTION PROPERLY SHALL BE REPAIRED AND/OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL STORMWATER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE GRADE AND LIDS SHALL BE LABELED "STORM SEWER".
- CONCRETE RISERS ARE TO BE USED IN PAVED AREAS UNLESS OTHERWISE SPECIFIED.
- ALL CAST-IN-PLACE CONCRETE DRAINAGE STRUCTURES SHALL BE CONSTRUCTED USING GOOD CLASS A CONCRETE - SECTION 500.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION.
- ALL PRECAST CONCRETE STRUCTURES SHALL CONFORM WITH ASTM C-478 WITH MINIMUM $f_c = 4000$ PSI.
- ALL PIPE LENGTHS ARE MEASURED TO THE CENTER OF THE STRUCTURE.
- A MINIMUM OF 1.0% SLOPE FOR STORM PIPES IS REQUIRED, UNLESS SPECIFICALLY NOTED.
- ALL STORMWATER PIPE ENTERING STORMWATER STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT THE STRUCTURE IS WATERTIGHT AND SHALL HAVE A SMOOTH UNIFORM PAVED MORTAR INVERT FROM INVERT-IN TO INVERT OUT.
- ALL STORM SEWER TRENCHING SHALL BE BACKFILLED PER THE PROJECT SITE WORK SPECIFICATIONS AND/OR DETAILS.
- ALL STORM DRAINAGE CONSTRUCTION METHODS SHALL CONFORM WITH GOOD STANDARD SPECIFICATION SECTION 550 REINFORCED CONCRETE PIPE (CLASS III) - SECTION 943.01.
- STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
 - RCP - REINFORCED CONCRETE PIPE - TYPE 1 PER ASTM C-78, WITH FLEXIBLE PLASTIC BITUMINOUS GASKETS AT JOINTS.
 - FILLS UP TO 15' OVER TOP OF PIPE, CLASS III OR GREATER MAY BE USED.
 - FILLS 15' OVER TOP OF PIPE, CLASS IV OR GREATER MAY BE USED.
 - FILLS GREATER THAN 20' OVER TOP OF PIPE, CLASS V MUST BE USED.
 - HDPE - CORRUGATED HIGH DENSITY POLYETHYLENE PIPE - SMOOTH LINED TYPE "S" PIPE, MUST BE INSTALLED IN STRICT COMPLIANCE WITH COUNTY DETAILS AND MANUFACTURER'S RECOMMENDATION, ESPECIALLY IN REGARDS TO SPECIAL BACKFILL AND BEDDING, MAY BE SUBSTITUTED FOR ACOMP AT THE CONTRACTOR'S DISCRETION.
- HIGH DENSITY POLYETHYLENE (HDPE) SHALL BE JOINED BY MANUFACTURER'S RECOMMENDED PIPE BANDING MATERIALS.

BENCHMARK

BENCHMARK TO BE PLACED BY LICENSED SURVEYOR ON SITE, LABELED AND MAINTAINED THROUGHOUT THE LENGTH OF THE PROJECT.

ENGINEER'S EROSION CONTROL CERTIFICATION

THE PROPOSED EROSION AND RUNOFF CONTROL MEASURES ARE IN COMPLIANCE WITH THE COBB COUNTY SEDIMENT CONTROL AND FLOOD PROTECTION REGULATIONS AND WILL NOT INCREASE THE RUNOFF RATE FROM THE SITE FOR RAINSTORMS WITH A RETURN PERIOD OF 2, 5, 10, 25, 50 AND/OR 100 YEARS.

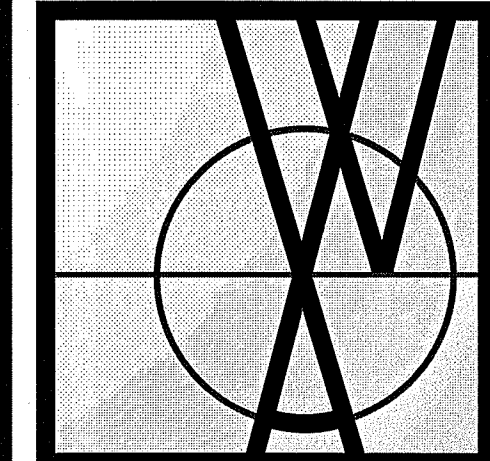
Jon Williams
JON WILLIAMS
DATE: 05.15.2019

STORMWATER MANAGEMENT NOTE

THERE IS AN EXISTING DETENTION FACILITY THAT SERVES THE SITE. AS PART OF THIS PROJECT, A WATER QUALITY UNIT WILL BE ADDED FOR TREATMENT. THE IMPERVIOUS COVERAGE FOR OUR SITE HAS BEEN REDUCED FROM 86.68% TO 69.94%.

PRE-DEVELOPMENT SITE			
COVER DESCRIPTION	COVER AREA (SF)	COVER AREA (ACRES)	% OF SITE
IMPERVIOUS AREAS	26733	0.61	86.68
OPEN SPACES	4109	0.09	13.32
COMPOSITE:	30,842	0.71	100.00

POST-DEVELOPMENT SITE			
COVER DESCRIPTION	COVER AREA (SF)	COVER AREA (ACRES)	% OF SITE
IMPERVIOUS AREAS	21569	0.50	69.94
OPEN SPACES	9272	0.21	30.06
COMPOSITE:	30,842	0.71	100.00



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waengineering.com

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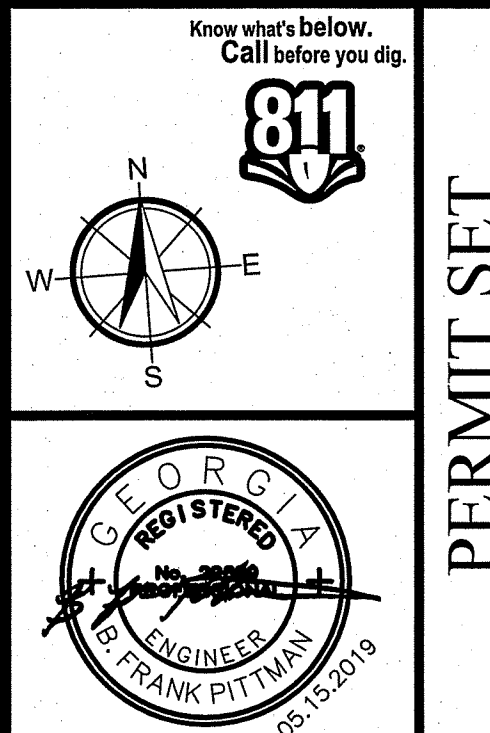
STARBUCKS KENNESAW

COBB COUNTY, GEORGIA
4383 WADE GREEN ROAD - 0.708 ACRES

DATE: 04.03.2019

REVISIONS

DATE	COMMENT
05.08.19	REVISED PER COBB COUNTY COMMENTS

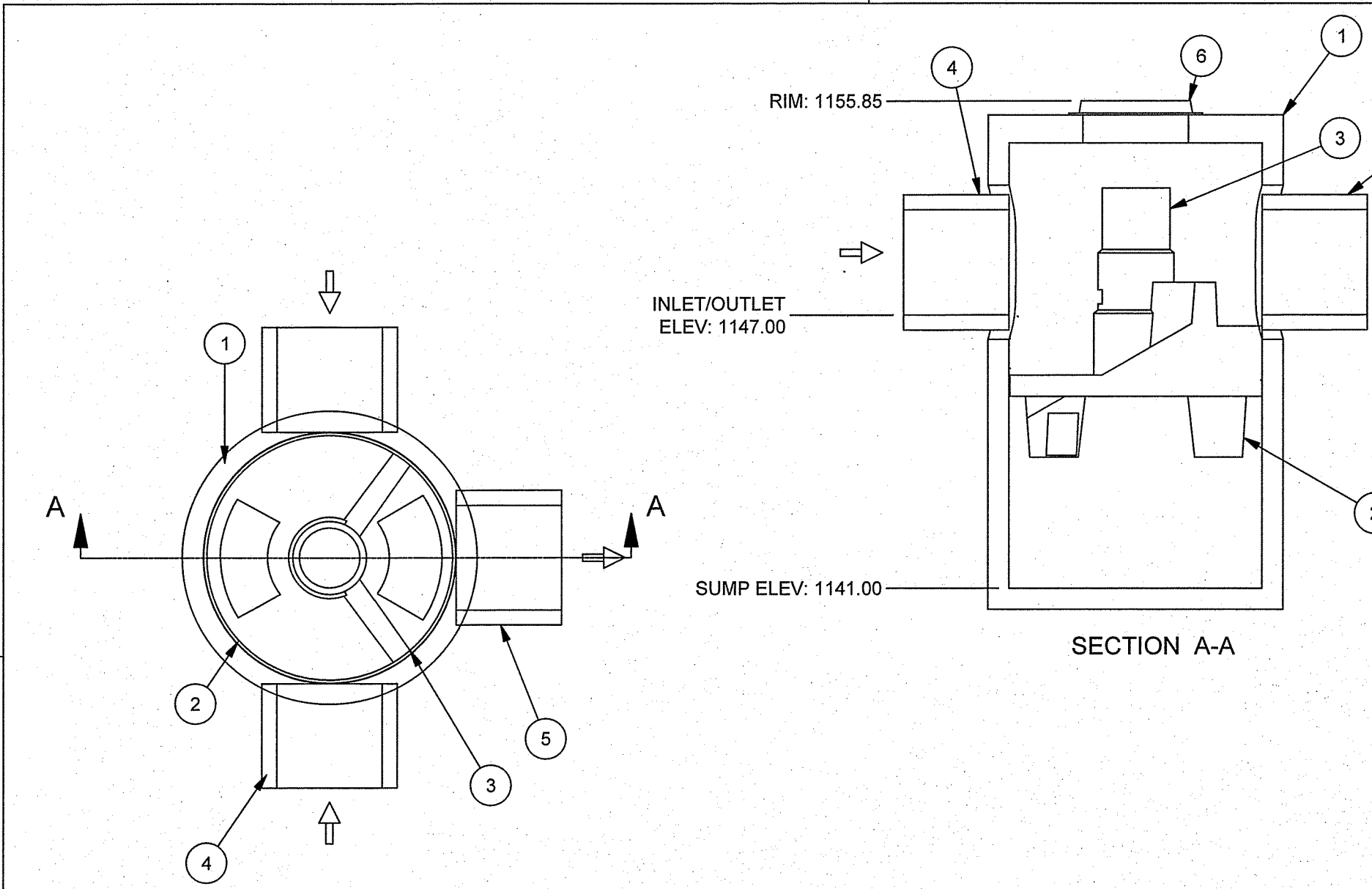


18365

GRADING & DRAINAGE PLAN

C301

SCALE 1" = 20'



Parts List		
ITEM	SIZE (in)	DESCRIPTION
1	72	I.D. PRECAST MANHOLE
2		LEDGER SUPPORT
3		SEPARATION MODULE
4	30	INLET PIPE (BY OTHERS)
5	30	OUTLET PIPE (BY OTHERS)
6	30	FRAME AND COVER (OR GRATE) (ROUND)

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Notes

1. MANHOLE WALL AND SLAB THICKNESSES ARE NOT TO SCALE.
2. CONTACT HYDRO INTERNATIONAL FOR A BOTTOM OF STRUCTURE ELEVATION PRIOR TO SETTING FIRST DEFENSE MANHOLE.
3. CONTRACTOR TO CONFIRM RIM, PIPE INVERTS, PIPE DIA. AND PIPE ORIENTATION PRIOR TO RELEASE OF UNIT TO FABRICATION.

REV	BY	DATE	DESCRIPTION
1	RC	1/15/15	FIRST ISSUE

REVISION HISTORY

Date 5-8-19 Scale 1/4" = 1'0"

Drawn TJO Checked Approved

Title

6-FT DIAMETER FIRST DEFENSE

WQU

STARBUCKS KENNESAW, GA

Hydro International

Stormwater Solutions

94 Hutchins Drive

Portland, Maine 04102

Tel: (207) 756-6200

Fax: (207) 756-6212

stormwaterinquiry@hydro-int.com

CAD Ref: F6HC-MAX

Project No. xx-xxxx

Drawing No. F6HCS1 Rev.

Project:
Location:
Prepared For:
Purpose:

STARBUCKS
KENNESAW, GA
W&A ENGINEERING

Hydro International
stormwater

Reference:

United States Department of Agriculture Natural Resources Conservation Service TR-55 Manual and Georgia Stormwater Management Manual.

Given:

Structure Name	A (acres)	A (miles ²)	Runoff Coefficient	Percent Imp. (%)	t _c (min)	t _c (hr)
WQU	1.63	0.00239	0.725	75.00	5.0	0.083

* Assumes runoff coefficient of 0.9 for impervious surfaces and 0.3 for pervious surfaces.

Procedure:

The Water Quality Flow (WQF) is calculated using the Water Quality Volume (WQV). This WQV, converted to watershed inches, is substituted for the runoff depth (Q) in the Natural Resources Conservation Service (formerly Soil Conservation Service), TR-55 Graphical Peak Discharge Method.

1. Compute WQV in watershed inches using the following equation:

$$WQV = P \cdot R$$

where: WQV = water quality volume (watershed inches)

P = design precipitation (inches)

R = volumetric runoff coefficient = 0.05 + 0.009(I)

I = impervious cover (Percentage)

Structure Name	Percent Imp. (%)	R	P (in)	WQV (in)
WQU	75.00	0.725	1.20	0.870

2. Compute the NRCS Runoff Curve Number (CN) using the following equation, or graphically using Figure 2-1 from TR-55 (USDA, 1986):

$$CN = 1000 / [10 + 5P + 10Q - 10(Q^2 + 1.25QP)^{1/2}]$$

where: CN = Runoff Curve Number

P = design precipitation (inches)

Q = runoff depth (watershed inches)

Structure Name	Q (in)	CN
WQU	0.870	97

Page 1 of 2

Page 2 of 2

3. Using computed CN, read initial abstraction (I_a) from Table 4-1 in Chapter 4 of TR-55; compute I_a/P, interpolating when appropriate.

Structure Name	I _a (in)	I _a /P
WQU	0.062	0.052

4. Compute the time of concentration (t_c) in hours and the drainage area in square miles. A minimum t_c of 0.1 hours (6 minutes) should be used.

Structure Name	t _c (hr)	A (miles ²)
WQU	0.100	0.00239

5. Read the unit peak discharge (q_u) from Exhibit 4-II or 4-III in Chapter 4 of TR-55 for appropriate t_c for type II rainfall distribution.

Structure Name	t _c (hr)	I _a /P	q _u (csm/in)
WQU	0.100	0.052	1000

6. Substituting WQV (watershed inches) for runoff depth (Q), compute the water quality flow (WQF) from the following equation:

$$WQF = (q_u)(A)(Q)$$

where: WQF = water quality flow (cfs)

q_u = unit peak discharge (cfs/mi²/inch)

A = drainage area (mi²)

Q = runoff depth (watershed inches)

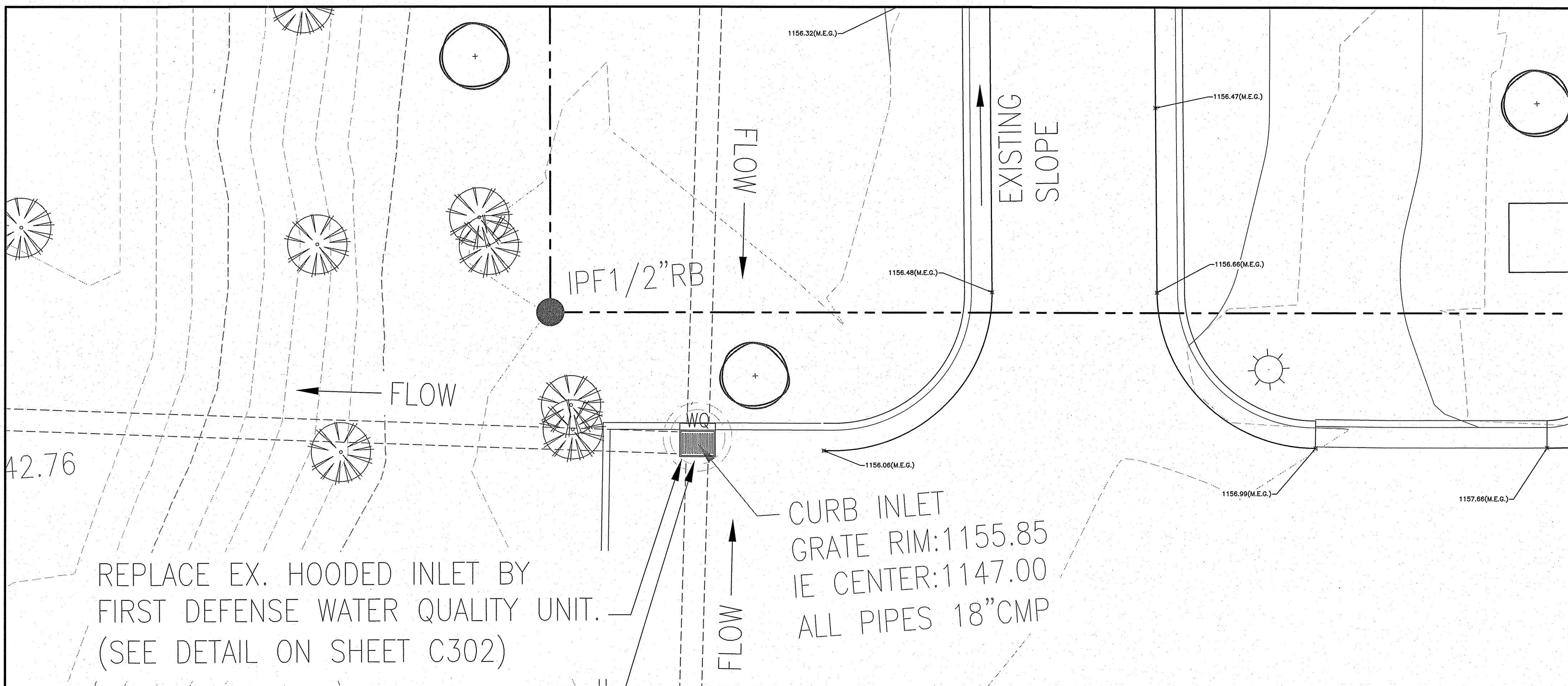
Structure Name	q _u (csm/in)	A (miles ²)	Q (in)	WQF (cfs)
WQU	1000	0.00239	0.870	2.08

VENDOR CONTACT INFORMATION

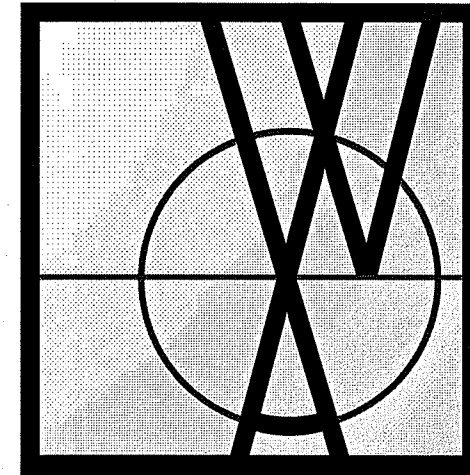
TRAVIS OWEN
SOUTHEAST CULVERT, INC.
1094 BANHEAD HWY WINDER, GEORGIA 30680
770-868-5599
TRAVIS@SOUTHEASTCULVERT.COM

HYDROLOGY DESIGN APPROACH NARRATIVE

THIS PROJECT IS A REDEVELOPMENT. STORMWATER MANAGEMENT IS PROVIDED IN AN EXISTING DETENTION FACILITY. SINCE THE IMPERVIOUS AREA HAS BEEN REDUCED, THE EXISTING POND WILL NOT BE NEGATIVELY AFFECTED BY THIS REDEVELOPMENT AND WILL CONTINUE TO PROVIDE ADEQUATE STORMWATER MANAGEMENT. IN ORDER TO TREAT WATER QUALITY FOR THIS PROJECT, A WATER QUALITY UNIT HAS BEEN PLACED INSIDE AN EXISTING INLET.



SCALE 1" = 5'



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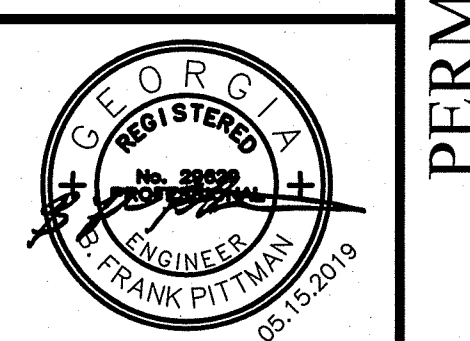
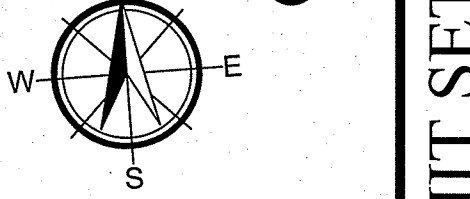
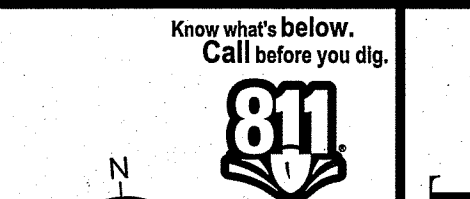
STARBUCKS KENNESAW

COBB COUNTY, GEORGIA
4383 WADE GREEN ROAD - 0.708 ACRES

DATE: 04.03.2019

REVISIONS

DATE	COMMENT
05.08.19	REVISED PER COBB COUNTY COMMENTS



18365

WATER QUALITY UNIT DETAILS

C302

PERMIT SET

STRUCTURAL PRACTICES				
CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION EXIT			A CRUSHED STONE PAD LOCATED AT THE CONSTRUCTION SITE EXIT TO PROVIDE A PLACE FOR REMOVING MUD FROM TIRES THEREBY PROTECTING PUBLIC STREETS.
Sd	SEDIMENT BARRIER			A BARRIER TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. IT MAY BE SANDBAGS, BALES OF STRAW OR HAY, BRUSH, LOGS AND POLES, GRAVEL, OR A SILT FENCE.
Sd	INLET SEDIMENT TRAP			AN IMPROVING AREA CREATED BY EXCAVATING AROUND A STORM DRAIN DROP INLET. THE EXCAVATED AREA WILL BE FILLED AND STABILIZED ON COMPLETION OF CONSTRUCTION ACTIVITIES.
Rt	RETRO FITTING			A DEVICE OR STRUCTURE PLACED IN FRONT OF A PERMANENT STORMWATER DETENTION POND OUTLET STRUCTURE TO SERVE AS A TEMPORARY SEDIMENT FILTER.
VEGETATIVE MEASURES				
CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Ds3	DISTURBED AREA STABILIZATION (WITH PERM SEEDING)			ESTABLISHING A PERMANENT VEGETATIVE COVER SUCH AS TREES, SHRUBS, VINES, GRASSES, OR LEGUMES ON DISTURBED AREAS.
Ds4	DISTURBED AREA STABILIZATION (SEEDINGS)			A PERMANENT VEGETATIVE COVER USING SEEDS OR HIGHLY ERODIBLE OR ORNAMENTAL ERODED LANDS.

ENGINEER'S EROSION CONTROL CERTIFICATION

THE PROPOSED EROSION AND RUNOFF CONTROL MEASURES ARE IN COMPLIANCE WITH THE COBB COUNTY SEDIMENT CONTROL AND FLOOD PROTECTION REGULATIONS AND WILL NOT INCREASE THE RUNOFF RATE FROM THE SITE FOR RAINSTORMS WITH A RETURN PERIOD OF 2, 5, 10, 25, 50 AND/OR 100 YEARS.

Jon Williams
JON WILLIAMS

DATE: 05.15.2019

COBB COUNTY NOTES

A. EROSION CONTROL PRACTICES MUST COMPLY WITH THE MINIMUM BEST MANAGEMENT PRACTICES FOR EROSION CONTROL. COBB CO. CODE SECT. 50-75, AND SHALL COMPLY WITH THE STANDARDS/SPECIFICATIONS IN THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.

B. IN CONCENTRATED FLOW AREAS, ALL SLOPES STEEPER THAN 2:5 TO 1% AND WITH A HEIGHT TEN FEET OR GREATER, AND CUTS AND FILLS WITHIN STREAM BUFFERS, SHALL BE STABILIZED WITH THE APPROPRIATE EROSION CONTROL MATTING OR BLANKET. ALL GRADED SLOPES ON INDIVIDUAL PROJECTS SHALL BE NO STEEPER THAN 2:1 OR THE APPROPRIATE RETAINING STRUCTURE SHALL BE DESIGNED TO REINFORCE OR RETAIN THE RESULTING EMBANKMENT.

C. MULCH TEMPORARY VEGETATION ON ALL EXPOSED AREAS WITHIN 14 DAYS AFTER DISTURBANCE. THIS NOTE APPLIES AFTER THE INITIAL GRADING OF THE DEVELOPMENT OR LOT.

D. ALL DISTURBED AREAS LEFT IDLE FOR 5 DAYS, AND NOT TO FINAL GRADE, WILL NEED TO ESTABLISH TEMPORARY VEGETATION BY USING DSI/D52. ALL AREAS TO FINAL GRADE WILL BE ESTABLISHED TO PERMANENT VEGETATION BY USING D53 OR D54 IMMEDIATELY UPON COMPLETION.

E. WHEN PLANTING VEGETATION, MULCH (HAY OR STRAW) SHOULD BE UNIFORMLY SPREAD OVER SEEDS AREA WITHIN 24 HOURS OF SEEDING.

F. COBB COUNTY LAND DISTURBANCE PERMIT/BUILDING PERMITS MUST BE DISPLAYED ON SITE AT ALL TIMES DURING CONSTRUCTION AND IN PLAIN VIEW FROM A COUNTY ROAD OR STREET.

G. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. PLEASE CALL (770) 528-2134 WITH ENOUGH LEAD-TIME FOR AN INSPECTION TO MEET YOUR SCHEDULE.

H. SEDIMENT/EROSION CONTROL DEVICES MUST BE CHECKED AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE. ADDITIONAL DEVICES MUST BE INSTALLED IF NEW CHANNELS HAVE DEVELOPED.

I. THE USE OF POLYMERS (PAMS) IS ACCEPTED AS A BMP AS RECOMMENDED BY THE STATE SOIL & WATER CONSERVATION COMMISSION BMP "GREEN BOOK". COBB COUNTY ALSO REQUIRES THAT POLYMERS USED TO STABILIZE CONSTRUCTION SITES MUST BE USED IN CONJUNCTION WITH MULCHING AND OR HYDRO SEEDING.

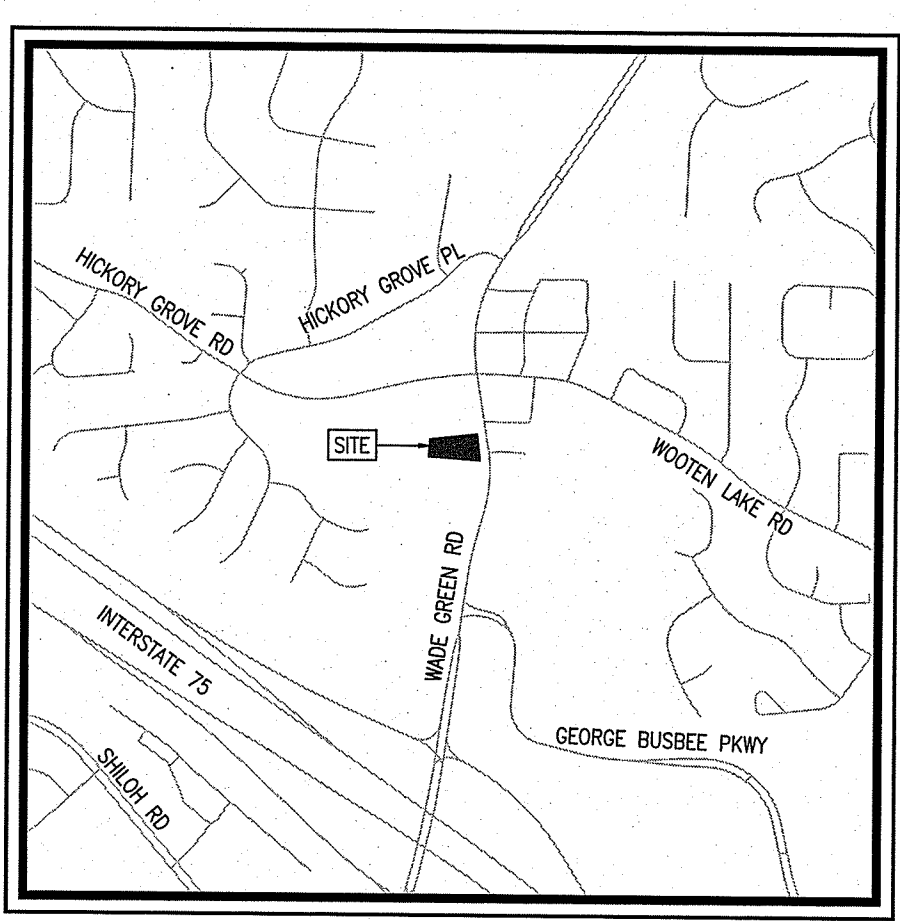
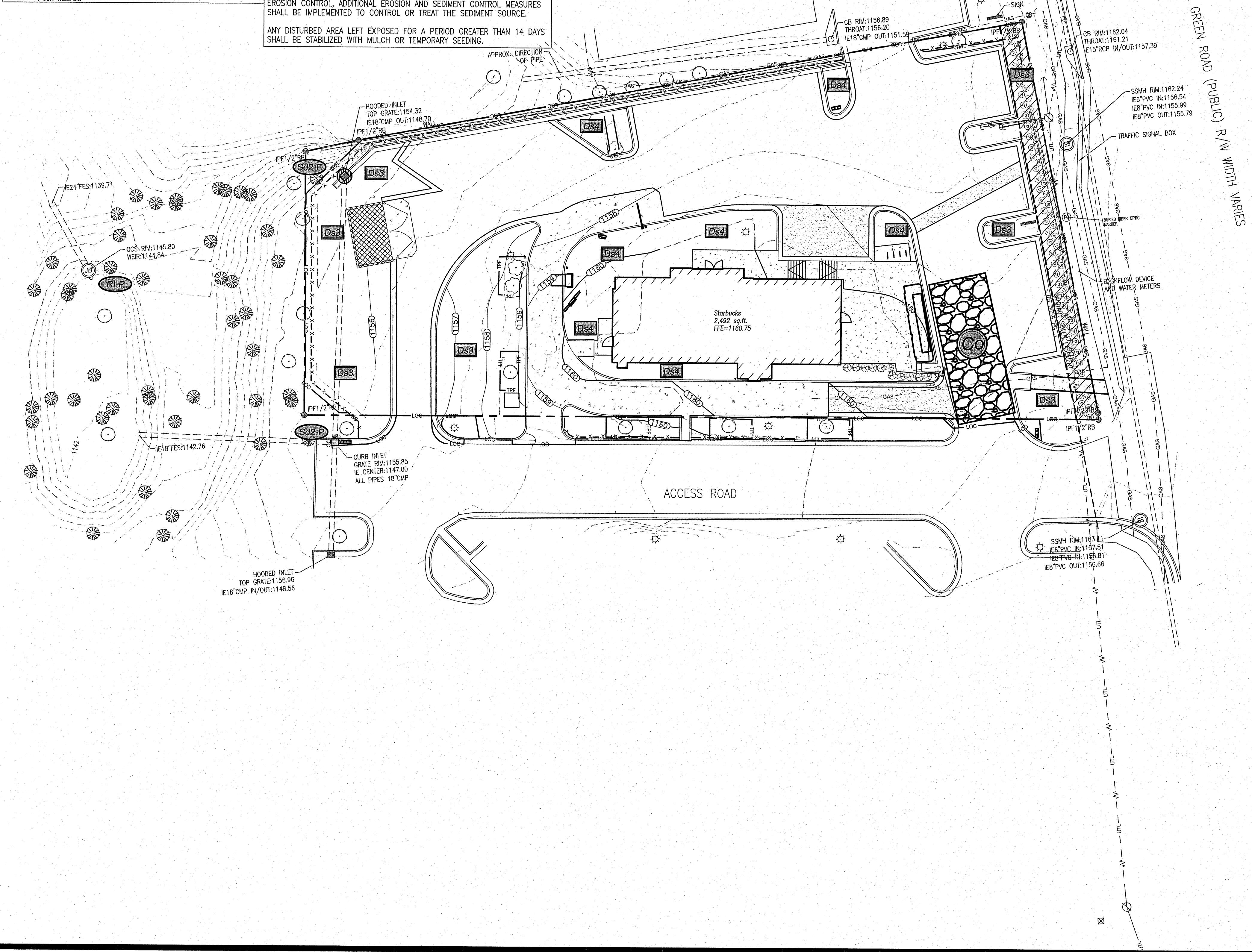
J. ADDITIONAL EROSION CONTROL DEVICES TO BE USED AS REQUIRED BY COBB COUNTY.

K. IF STREAMS ARE ON YOUR SITE, COBB COUNTY WILL REQUIRE THAT THE STREAM BUFFERS BE LEFT UNDISTURBED AND A CONSERVATION EASEMENT OR A RESTRICTIVE COVENANT BE PLACED ON THAT PROPERTY. FOR MORE INFORMATION, PLEASE FEEL FREE TO JASON GAINES WITH THE PLANNING DIVISION @ 770-528-2120 OR JASON.GAINES@COBBCOUNTY.ORG.

THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.

EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.



VICINITY MAP
SCALE: 1" = 1000'

ES&PC PROJECT NOTES

PROJECT INFORMATION
24-HR EROSION CONTROL CONTACT
ATTN: KIRK FARRELLY, P.E.
205.263.4589

PRIMARY PERMITTEE/OWNER:
POP KENNESAW COB LLC
361 SUMMIT BLVD., SUITE 110
VESTAVIA, ALABAMA, 35243
ATTN: KIRK FARRELLY, P.E.
205.263.4589

AUTHORIZED AGENT/DESIGN PROFESSIONAL
W&A ENGINEERING
2470 DANIELLS BRIDGE RD. SUITE 161
ATHENS, GA 30606
706.310.0400

THIS SITE DOES NOT MEET THE REQUIREMENTS OF NPDES GENERAL PERMIT. THE PLAN SHEET IS PROVIDED TO FOLLOW THE GENERAL PERMIT AS WELL AS LOCALE, STATE AND FEDERAL REGULATIONS OR LAWS APPLY REGARDLESS OF SPECIFIC INCLUSIONS IN THIS PLAN.

PROJECT AREA TOTAL PROJECT AREA: 0.708 AC., 30,841.54 S.F. **TOTAL DISTURBED AREA:** 31,952.62 S.F. **TOTAL DISTURBED ACREAGE:** 0.73 AC., 32,000.00 S.F. **PROJECT ENTRANCE LOCATION:** THE GPS COORDINATES USED FOR THE LOCATION OF THE CONSTRUCTION EXIT FOR THE PROJECT ARE LAT: 34.05944°N / LON: 84.5931°W

SITE DESCRIPTION: 0.709 ACRE SITE LOCATED AT 4383 WADE GREEN ROAD, KENNESAW, GA 30622 LAND LOT 55, 20TH DISTRICT, COBB COUNTY, GA. THE SITE IS CURRENTLY DEVELOPED AS A RESTAURANT. THE TOTAL IMPERVIOUS AREA IS BEING REDUCED WITHIN THE REDEVELOPMENT. THE EXISTING SITE HAS AN AVERAGE SLOPE OF 5% FROM EAST TO WEST TOWARD THE REAR OF THE PROPERTY TO AN EXISTING DETENTION POND.

PROJECT DESCRIPTION & NATURE OF CONSTRUCTION ACTIVITY: THE PROPOSED PROJECT CONSISTS OF THE DEVELOPMENT OF A STARBUCKS RESTAURANT WITH ASSOCIATED PARKING, DRIVE THRU, SOLID WASTE MANAGEMENT, STORMWATER CONVEYANCES, UTILITIES, AND LANDSCAPED AREAS.

RECEIVING WATERS:
AN UNNAMED TRIBUTARY OF PROCTOR CREEK, VIA TEEM LAKE.
CRITICAL AREAS:
SEE ESO PLAN FOR LOCATIONS. THE CONTRACTOR SHALL BE AWARE OF THE POTENTIAL FOR SERIOUS EROSION OCCURRING AT THE FOLLOWING LOCATIONS: ALL OUTLETS AND SLOPES STEEPER THAN 3:1 ARE CRITICAL AREAS. OUTLET PROTECTION (ST) IS PROPOSED AT ALL OUTLETS AND SLOPE STABILIZATION (Sa) - MATTING AND BLANKETS (RECP) ARE PROPOSED WHERE SLOPES ARE STEEPER THAN 3:1.

CERTIFICATIONS
DESIGN PROFESSIONAL'S CERTIFICATION
I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY SUPERVISION.
I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE STATE SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED, PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. 04R 100001.

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT CERTIFIED PERSONNEL PROPERLY GATHER AND EVALUATE THE INFORMATION SUBMITTED. BASED UPON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINES AND IMPRISONMENT FOR KNOWING VIOLATIONS.

Jon Williams
GSWCC LEVEL II DESIGN PROFESSIONAL (JON WILLIAMS) CERTIFICATION #3588 4.2.2019

7-DAY CERTIFICATION
THE DESIGN PROFESSIONAL WHO PREPARED THE ES&PC PLAN IS TO INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPS WITHIN 7 DAYS AFTER INSTALLATION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO NOTIFY THE DESIGN PROFESSIONAL AT LEAST TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THE SCHEDULING OF THE SITE VISIT FOR THE INSPECTION. IT IS ALSO THE RESPONSIBILITY OF THE OWNER/OPERATOR TO NOTIFY THE DESIGN PROFESSIONAL AT THE START OF INSTALLATION OF THE INITIAL SEDIMENT STORAGE CONSTRUCTION AND PERIMETER CONTROL BMPS SO THAT THE INSPECTION CAN BE PERFORMED WITHIN 7 DAYS AFTER INSTALLATION.

DESIGN PROFESSIONAL 7-DAY CERTIFICATION

DATE OF INSPECTION: _____

I CERTIFY THE SITE WAS IN COMPLIANCE WITH THE ES&PC PLAN ON THE DATE OF INSPECTION.

INSPECTION REVEALED THE FOLLOWING DISCREPANCIES FROM THE ES&PC PLAN:

THESE DEFICIENCIES MUST BE ADDRESSED IMMEDIATELY AND A RE-INSPECTION SCHEDULED. WORK SHALL NOT PROCEED ON THE SITE UNTIL DESIGN PROFESSIONAL CERTIFICATION IS OBTAINED.

- CHECKLIST NOTES**
- NON-EXEMPT ACTIVITIES SHALL NOT BE CONDUCTED WITHIN THE 25 OR 50-FOOT UNDISTURBED STREAM BUFFERS AS MEASURED FROM THE POINT OF WETTEST VEGETATION OR WITHIN 25-FOOT OF THE COASTAL MARSHLAND BUFFER AS MEASURED FROM THE JURISDICTIONAL DETERMINATION LINE WITHOUT FIRST ACQUIRING THE NECESSARY VARIANCES AND PERMITS.
 - AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPS WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
 - WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE, EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
 - THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
 - EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
 - ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

ASSESSMENTS
STREAMS ASSESSMENT—THE APPROPRIATE PLAN SHEETS DO NOT INDICATE THE PRESENCE OF A STREAM WITHIN THE PROJECT BOUNDARY OR WITHIN 200 LINEAR FEET OF THE PROJECT BOUNDARY LINE. NO ENCROACHMENTS ARE PROPOSED & NO BUFFER VARIANCES ARE REQUIRED.
IMPAIRED STREAMS ASSESSMENT—THE APPROPRIATE PLAN SHEETS INDICATE NO AREAS THAT FLOW TO, INCLUDING 1 LINEAR MILE UPSTREAM, OF ANY IMPAIRED STREAM AS DEFINED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION. COORDINATES USED TO CHECK IMPAIRED ASSESSMENT ARE 34.05944°N / LON: 84.5931°W. NO ADDITIONAL BMP'S ARE PROPOSED. NO TMDL IMPLEMENTATION PLAN APPLIES.

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PLANT SELECTION

REFER TO TABLES 6-4.1, 6-5.2, 6-5.3 AND 6-5.4 FOR APPROVED SPECIES. SPECIES NOT LISTED SHALL BE APPROVED BY THE STATE RESOURCE CONSERVATION SERVICE BEFORE THEY ARE USED.

PLANTS SHALL BE SELECTED ON THE BASIS OF SPECIES CHARACTERISTICS, SITE AND SOIL CONDITIONS, PLANNED USE AND MAINTENANCE OF THE AREA, TIME OF YEAR OF PLANTING, METHOD OF PLANTING, AND THE NEEDS AND DESIRES OF THE LAND USER.

SOME PERENNIAL SPECIES ARE EASILY ESTABLISHED AND CAN BE PLANTED ALONE. EXAMPLES OF THESE ARE COMMON BERMUDA, TALL FESCUE, AND KEENEY LOVERGRASS.

OTHER PERENNIALS, SUCH AS BAHIA GRASS AND SERICEA LESPEDEZA, ARE SLOW TO BECOME ESTABLISHED AND SHOULD BE PLANTED WITH ANOTHER PERENNIAL SPECIES. THE ADDITIONAL SPECIES WILL PROVIDE QUICK COVER AND ANPLE SOIL PROTECTION UNTIL THE TARGET PERENNIAL SPECIES BECOME ESTABLISHED. FOR EXAMPLE, COMMON SEEDING COMBINATIONS ARE 1) WEEPING LOVERGRASS WITH SERICEA LESPEDEZA (GOVERNED) AND 2) TALL FESCUE WITH SERICEA LESPEDEZA (UNCAFFEINATED).

PLANT SELECTION MAY ALSO INCLUDE ANNUAL COMPANION CROPS. ANNUAL COMPANION CROPS SHOULD BE USED ONLY WHEN THE PERENNIAL SPECIES ARE NOT PLANTED DURING THEIR OPTIMUM PLANTING PERIOD. IF A COMMON MIXTURE IS BROWN TOP MILLET WITH COMMON BERMUDA IN MID-SUMMER, CARE SHOULD BE TAKEN IN SELECTING COMPANION CROPS SPECIES AND SEEDING RATES BECAUSE ANNUAL CROPS WILL COMPETE WITH PERENNIAL SPECIES FOR WATER, NUTRIENTS, AND GROWING SPACE. A HIGH SEEDING RATE OF THE COMPANION CROP MAY PREVENT THE ESTABLISHMENT OF PERENNIAL SPECIES.

RYEGRASS SHALL NOT BE USED IN ANY SEEDING MIXTURES CONTAINING PERENNIAL SPECIES DUE TO ITS ABILITY TO OUT-COMPETE DESIRED SPECIES CHOSEN FOR PERMANENT PERENNIAL COVER.

SEED QUALITY

THE TERM "PURE LIVE SEED" IS USED TO EXPRESS THE QUALITY OF SEED AND IS NOT SHOWN ON THE LABEL. PURE LIVE SEED, PLS, IS EXPRESSED AS A PERCENTAGE OF THE SEEDS THAT ARE PURE AND WILL GERMINATE. INFORMATION ON PERCENT

GERMINATION AND PURITY CAN BE FOUND ON SEED TAGS. PLS IS DETERMINED BY MULTIPLYING THE PERCENT OF PURE SEED WITH THE PERCENT OF GERMINATION. I.E.,

PLS = % GERMINATION X % PURITY

EXAMPLE:

COMMON BERMUDA SEED
70% GERMINATION, 80% PURITY

PLS = 70% GERMINATION X 80% PURITY

PLS = 56%

THE PERCENT OF PLS HELPS YOU DETERMINE THE AMOUNT OF SEED YOU NEED. IF THE SEEDING RATE IS 10 POUNDS PLS AND THE BULK SEED IS 56 % PLS, THE BULK SEED RATING IS:

10 LBS. PLS/ACRE = 17.9 LBS/ACRE

56% PLS

YOU WOULD NEED TO PLANT 17.9 LBS/ACRE TO PROVIDE 10 LBS/ACRE OF PURE LIVE SEED.

SEEDING PREPARATION

SEEDING PREPARATION MAY NOT BE REQUIRED WHERE HYDRAULIC SEEDING AND FERTILIZING EQUIPMENT IS TO BE USED (BUT IS STRONGLY RECOMMENDED FOR ANY SEEDING PROCESS, WHEN POSSIBLE). WHEN CONVENTIONAL SEEDING IS TO BE USED, SEEDING PREPARATION WILL BE DONE AS FOLLOWS:

BROADCAST PLANTINGS

1. TILLAGE, AT A MINIMUM, SHALL ADEQUATELY 6-90 LOOSEN THE SOIL TO A DEPTH OF 4 TO 6 INCHES. ALLEVATE COMPACTION, INCORPORATE LIME AND FERTILIZER, SMOOTH AND FIRM THE SOIL, ALLOW FOR THE PROPER PLACEMENT OF SEED, SPRIGS, OR PLANTS, AND ALLOW FOR THE ANCHERING OF STRAW OR HAY MULCH IF A DISK IS TO BE USED.

2. TILLAGE MAY BE DONE WITH ANY SUITABLE EQUIPMENT.

3. TILLAGE SHOULD BE DONE ON THE CONTOUR WHERE FEASIBLE.

4. ON SLOPES TOO STEEP FOR THE SAFE OPERATION OF TILLAGE EQUIPMENT, THE SOIL SURFACE

SHALL BE PITTED OR TRENCHED ACROSS THE SLOPE WITH APPROPRIATE HAND TOOLS TO PROVIDE TWO PLACES 6 TO 8 INCHES APART IN WHICH SEED MAY LODGE AND GERMINATE. HYDRAULIC SEEDING MAY ALSO BE USED.

INDIVIDUAL PLANTS

1. WHERE INDIVIDUAL PLANTS ARE TO BE SET, THE SOIL SHALL BE PREPARED BY EXCAVATING HOLES, OPENING FURROWS, OR DOUBLE PLANTING.

2. FOR NURSERY STOCK PLANTS, HOLES SHALL BE LARGE ENOUGH TO ACCOMMODATE ROOTS WITHOUT CROWDING.

3. WHERE PINE SEEDLINGS ARE TO BE PLANTED, SUBSOIL UNDER THE ROW 30 INCHES DEEP ON THE CONTOUR FOUR TO SIX MONTHS PRIOR TO PLANTING. SUBSOILING SHOULD BE DONE WHEN THE SOIL IS DRY, PREFERABLY IN AUGUST OR SEPTEMBER.

INDIVIDUAL PLANTS

ALL LEGUME SEED SHALL BE INOCULATED WITH APPROPRIATE NITROGEN-FIXING BACTERIA. THE INOCULANT SHALL BE A PURE CULTURE PREPARED SPECIFICALLY FOR THE SEED SPECIES AND USED WITHIN THE DATES ON THE CONTAINER.

A MIXING MEDIUM RECOMMENDED BY THE MANUFACTURER SHALL BE USED TO BOND THE INOCULANT TO THE SEED. WHEN CONVENTIONAL SEEDING, USE TWICE THE AMOUNT OF INOCULANT RECOMMENDED BY THE MANUFACTURER. FOR HYDRAULIC SEEDING, FOUR TIMES THE AMOUNT OF INOCULANT RECOMMENDED BY THE MANUFACTURER SHALL BE USED.

ALL INOCULATED SEED SHALL BE PROTECTED FROM THE SUN AND HIGH TEMPERATURES AND SHALL BE PLANTED THE SAME DAY INOCULATED. NO INOCULATED SEED SHALL REMAIN IN THE HYDROSEEDER LONGER THAN ONE HOUR.

PLANTING

HYDRAULIC SEEDING

MIX THE SEED (UNINOCULATED IF NEEDED), FERTILIZER, AND WOOD CELLULOSE OR WOOD PULP FIBER MULCH WITH WATER AND APPLY IN A SLURRY UNIFORMLY OVER THE AREA TO BE TREATED. APPLY WITHIN ONE HOUR AFTER THE MIXTURE IS MADE.

CONVENTIONAL SEEDING

SEEDING WILL BE DONE ON A FRESHLY

MULCHING RATES AND SPECIFICATIONS

MULCH IS REQUIRED FOR ALL PERMANENT VEGETATION APPLICATIONS. MULCH APPLIED TO SEEDED AREAS SHALL HAVE TO COVER THE SOIL COVER WHEN SEEDING. MULCH SHALL BE APPLIED TO COVER 75% OF THE SOIL SURFACE.

WOOD CELLULOSE OR WOOD FIBER MULCH SHALL BE APPLIED UNIFORMLY WITH HYDRAULIC SEEDING EQUIPMENT. ANCHORING MULCH

ANCHOR STRAW OR HAY MULCH IMMEDIATELY AFTER APPLICATION BY ONE OF THE FOLLOWING METHODS:

1. HAY AND STRAW MULCH SHALL BE PRESSED INTO THE SOIL IMMEDIATELY AFTER THE MULCH IS SPREAD. A SPECIAL "PACKER DISK" OR DISK HARROW WITH THE DISKS SET STRAIGHT MAY BE USED. THE DISKS MAY BE SMOOTH OR SEPARATED AND SHOULD BE 20 INCHES OR MORE IN DIAMETER AND 8 TO 12 INCHES APART. THE EDGES OF THE DISKS SHALL BE DULL ENOUGH TO PRESS THE MULCH INTO THE GROUND WITHOUT CUTTING IT. LEAVING MUCH OF IT IN AN ERECT POSITION. MULCH SHALL NOT BE FLOWED INTO THE SOIL.

2. SYNTHETIC TACKLERS, BINDERS OR HYDRAULIC MULCH SPECIALLY DESIGNED TO TACK STRAW, SHALL BE APPLIED IN CONJUNCTION WITH OR IMMEDIATELY AFTER THE MULCH IS SPREAD. SYNTHETIC TACKLERS SHALL BE MIXED AND APPLIED ACCORDING TO MANUFACTURER'S SPECIFICATIONS. ALL TACKLERS, BINDERS, OR HYDRAULIC MULCH SPECIALLY DESIGNED TO TACK STRAW SHOULD BE VERIFIED MONITORING THROUGH EPA 820.12 TESTING. REFER TO TACKLERS-TAC

3. RYE OR WHEAT CAN BE INCLUDED WITH FILL AND WATER PLANTINGS TO STABILIZE THE MULCH. THEY SHALL BE APPLIED AT A RATE OF ONE-QUARTER TO ONE-HALF BUSHEL PER ACRE.

4. PLASTIC MESH OR NETTING WITH MESH NO LARGER THAN ONE INCH BY ONE INCH MAY BE NEEDED TO ANCHOR STRAW OR HAY MULCH ON UNSTABLE SOILS AND CONCENTRATED FLOW AREAS. THESE MATERIALS SHALL BE INSTALLED AND ANCHORED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

SEEDING MATERIAL

MULCH IS USED AS A BEDDING MATERIAL TO CONSERVE MOISTURE AND PROTECT WEEDS IN NURSERIES, ORNAMENTAL BEDS, AROUND SPRINGS, AND ON BANK AREAS ON LAWNS.

DEPTH
4" TO 6"
GRASS HAY
PINE NEEDLES
WOOD WASTE
4" TO 6"
4" TO 6"

TABLE 6-5.1 FERTILIZER REQUIREMENTS

TYPES OF SPECIES	PLANTING YEAR	FERTILIZER (N-P-K)	ANALYSIS OR EQUIVALENT RATE (LBS/ACRE)	N TOP DRESSING RATE (LBS/ACRE)
1. COOL SEASON GRASSES	FIRST MAINTENANCE	6-12-12 6-12-12 10-10-10	1500 1000 400	50-100 (1)(2) 30
2. COOL SEASON GRASSES AND LEGUMES	FIRST MAINTENANCE	6-12-12 6-12-12 10-10-10	1500 1000 400	0-50 (1) 30
3. GROUND COVERS	FIRST MAINTENANCE	6-12-12 6-12-12 10-10-10	1300 (3) 1300 (3) 1100	— — —
4. PINE SEEDLINGS	FIRST MAINTENANCE	20-10-5	one 21-gram pellet per seedling placed in the closing hole	—
5. SHRUB LESPEDEZA	FIRST MAINTENANCE	0-10-10 0-10-10	700 700 (4)	— —
6. TEMPORARY COVER CROPS SEEDED ALONE	FIRST MAINTENANCE	10-10-10	500	30 (5)
7. WARM SEASON GRASSES	FIRST MAINTENANCE	6-12-12 6-12-12 10-10-10	1500 800 400	50-100 (2)(6) 30
8. WARM SEASON GRASSES AND LEGUMES	FIRST MAINTENANCE	6-12-12 6-12-12 10-10-10	1500 800 400	50 (6)

(1) APPLY IN SPRING FOLLOWING SEEDING.
(2) APPLY IN SPRING APPLICATIONS WHEN HIGH RATES ARE USED.
(3) APPLY IN 3 SPLIT APPLICATIONS.
(4) WHEN PLANTS ARE PLANTED.
(5) APPLY TO GRASS SPECIES ONLY.
(6) APPLY WHEN PLANTS GROW TO A HEIGHT OF 2 TO 4 INCHES.

ALL AREAS TO BE SEEDDED SHALL HAVE LIME APPLIED AT A RATE OF 90 LBS/1000 SQ. FT. LIME AND FERTILIZER TO BE APPLIED PRIOR TO APPLICATION OF SEED AND MIXED THOROUGHLY WITH THE SOIL.

TABLE 6-5.2 PLANTS, PLANTING RATES, AND PLANTING RATES FOR PERMANENT COVER OR COMPANION CROPS

SPECIES	BROADCAST per 1/4 Acre	PLS per 1000 SF	PLANTING DATES BY RESOURCE AREAS	REMARKS
BERMUDA, COMMON (Cynodon dactylon) (Inoculated Seed)	10 lb. 0.2 lb.	1000	SOUTHERN MOUNTAIN SOUTHERN COSTAL PLAN	PLANT WITH WINTER ANNUALS
BERMUDA, COM. (Cynodon dactylon) (Uninoculated Seed)	10 lb. 0.2 lb.	1000	SOUTHERN MOUNTAIN SOUTHERN COSTAL PLAN	PLANT WITH TALL FESCUE
BERMUDA, COM. (Cynodon dactylon) (Uninoculated Seed) WITH OTHER PERENNIALS.....	6 lb. 0.1 lb.	600	SOUTHERN MOUNTAIN SOUTHERN COSTAL PLAN	1,750,000 SEED PER POUND. QUICK COVER, LOW GROWING. GOOD FORMING. FALL, WINTER, SPRING, SUMMER, MAY LAST FOR SEVERAL YEARS. MIX W/ SERICEA LESPEDEZA
BERMUDA, COM. (Cynodon dactylon) (Uninoculated Seed) WITH OTHER PERENNIALS.....	6 lb. 0.1 lb.	600	SOUTHERN MOUNTAIN SOUTHERN COSTAL PLAN	1,750,000 SEED PER POUND. QUICK COVER, LOW GROWING. GOOD FORMING. FALL, WINTER, SPRING, SUMMER, MAY LAST FOR SEVERAL YEARS. MIX W/ SERICEA LESPEDEZA
CENTPEDE (Eriocaulon sp.)	500 BLOCKS ONLY	500	SOUTHERN MOUNTAIN SOUTHERN COSTAL PLAN	PROOFT TOLERANT. FULL SUN OR PARTIAL SHADE. EFFECTIVE AGAINST FLOW AREAS. PROLONGED IF NEEDED UNTIL FULLY ESTABLISHED. DO NOT PLANT NEAR PATHERIES, WATERWAYS, OR FOR HEAVY USE AREAS OR ALONG AS NORTH ATHENS AND ATLANTA
FESCUE, TALL (Festuca arundinacea)	50 lb. 1.1 lb.	500	SOUTHERN MOUNTAIN SOUTHERN COSTAL PLAN	227,000 SEED PER POUND. USE ALONE ONLY ON BETTER SITES. MIX WITH PERENNIAL LESPEDEZA OR CROTONELLA. APPLY OPTIMUMS IN SPRING FOLLOWING FALL PLANTING. NOT FOR HEAVY USE AREAS OR ALONG AS NORTH ATHENS AND ATLANTA
FESCUE, TALL (Festuca arundinacea) WITH OTHER PERENNIALS.....	30 lb. 0.7 lb.	300	SOUTHERN MOUNTAIN SOUTHERN COSTAL PLAN	227,000 SEED PER POUND. MIX W/ WEEPING LOVERGRASS COMMON BERMUDA, BAHIA, OR TALL FESCUE. INOCULATE SEED W/ R. INOCULANT.
LESPEDEZA, SERICEA (Sericea lespedeza) (Uninoculated Seed)	50 lb. 1.4 lb.	500	SOUTHERN MOUNTAIN SOUTHERN COSTAL PLAN	1,500,000 SEED PER POUND. QUICK COVER DROUGHT TOLERANT. GROWS WELL W/ SERICEA LESPEDEZA ON BROWNSANDS.
LESPEDEZA, SERICEA (Sericea lespedeza) (Uninoculated Seed) WITH OTHER PERENNIALS.....	2 lb. 0.05 lb.	200	SOUTHERN MOUNTAIN SOUTHERN COSTAL PLAN	1,500,000 SEED PER POUND. QUICK COVER DROUGHT TOLERANT. GROWS WELL W/ SERICEA LESPEDEZA ON BROWNSANDS.

SOLID LINES (—) INDICATED OPTIMUM DATES, GREY LINES (---) INDICATED PERMISSIBLE BUT MARGINAL DATES
* PLS = PURE LIVE SEED
* REDUCE DATES BY 50% WHEN DRILLED.

SOD MAINTENANCE AND INSTALLATION

SOD LAYOUT AND PREPARATION

LAY SOD IN A STAGGERED PATTERN. BUT THE STRIPS TIGHTLY AGAINST EACH OTHER. DO NOT LEAVE SPACES AND DO NOT OVERLAP. A SHARPENED MASON'S TROWEL IS A HANDY TOOL FOR TUCKING DOWN THE ENDS AND TRIMMING PIECES.

DIRECTIONS FOR INITIAL MAINTENANCE

Step 1. ROLL SOD IMMEDIATELY TO ACHIEVE FIRM CONTACT WITH THE SOIL.

Step 2. WATER TO A DEPTH OF 4" AS NEEDED. WATER WELL AS SOON AS THE SOD IS LAY.

Step 3. MOW WHEN THE SOD IS ESTABLISHED — IN 2-3 WEEKS. SET THE MOWER HIGH (2"-3").

APPEARANCE OF GOOD SOD

SHOOTS OR GRASS BLADES: GRASS SHOULD BE GREEN AND HEALTHY, MOWN AT A 2"-3" CUTTING HEIGHT.

THATCH: GRASS CLIPPINGS AND DEAD LEAVES (UP TO 1/2" THICK).

ROOT ZONE: SOIL AND ROOTS SHOULD BE 1/2"-3/4" THICK WITH DENSE ROOT MAT FOR STRENGTH.

Figure 6-6.2

Ds3 DISTURBED AREA STABILIZATION (PERMANENT VEGETATION)

LOCATION IN MANUAL: 6-37

Ds3 DISTURBED AREA STABILIZATION (PERMANENT VEGETATION)

LOCATION IN MANUAL: 6-38

Ds3 DISTURBED AREA STABILIZATION (PERMANENT VEGETATION)

LOCATION IN MANUAL: 6-41

Ds3 DISTURBED AREA STABILIZATION (PERMANENT VEGETATION)

LOCATION IN MANUAL: 6-42

SODDED WATERWAYS

SOD DIRECTIONS

SHALE/WATERWAY SOD AREA

DIRECTION OF FLOW

LAY SOD ACROSS THE DIRECTION OF FLOW.

NETTING DIRECTIONS

PEG OR STAPLE

SOD NETTING

LAY NET WITH THE DIRECTION OF FLOW.

PEG DETAIL

IN CRITICAL AREAS, SECURE SOD WITH NETTING LONG STAPLES.

USE PEGS OR STAPLES TO FASTEN SOD FIRMLY AT THE ENDS OF STRIPS AND IN THE CENTER, OR EVERY 3-4 FEET IF THE STRIPS ARE LONG, WHEN READY TO MAKE DRIVE PEGS OR STAPLES FLUSH WITH THE GROUND.

Figure 6-6.1

Ds4 DISTURBED AREA STABILIZATION (WITH SODDING)

LOCATION IN MANUAL: 6-63

Ds4 DISTURBED AREA STABILIZATION (WITH SODDING)

LOCATION IN MANUAL: 6-61, 6-62

TABLE 6-6.1 FERTILIZER REQUIREMENTS FOR SOIL SURFACE APPLICATION

FERTILIZER	FERTILIZER RATE (LBS/ACRES)	FERTILIZER RATE (LBS/SQ.FT)	SEASON
10-10-10	1000	0.025	FALL

TABLE 6-6.2 SOD PLANTING REQUIREMENTS

GRASS	VARIETIES	RESOURCE AREA	GROWING SEASON
BERMUDAGRASS	COMMON TIPWAX TIFGREEN TIFLAWN	M-L, P, C P, C P, C	WARM WEATHER
BAHIA GRASS	PENSACOLA	P, C	WARM WEATHER
CENTPEDE	—	P, C	WARM WEATHER
ST. AUGUSTINE	COMMON BITTERBLUE RALEIGH	P, C	WARM WEATHER
ZOTISIA	EMERALD MYER	P, C	WARM WEATHER
TALL FESCUE	KENTUCKY	M-L, P	COOL WEATHER

TABLE 6-6.3 FERTILIZER REQUIREMENTS FOR SOD

TYPES OF SPECIES	PLANTING YEAR	FERTILIZER (N-P-K)	RATE (LBS/ACRE)	NITROGEN TOP DRESSING RATE (LBS/ACRE)
COOL SEASON GRASSES	FIRST MAINTENANCE	6-12-12 6-12-12 10-10-10	1500 1000 400	50-100 30
WARM SEASON GRASSES	FIRST MAINTENANCE	6-12-12 6-12-12 10-10-10	1500 800 400	50-100 30

* RESOURCE AREA NOTE:
M-L REPRESENTS THE MOUNTAIN; BLUE RIDGE; AND RIDGES AND VALLEYS MURAS
P REPRESENTS THE SOUTHERN PIEDMONT MURAS
C REPRESENTS SOUTHERN COSTAL PLAN; SAND HILLS; BLACK LANDS; AND ATLANTIC COAST FLATWOODS MURAS

Ds4 DISTURBED AREA STABILIZATION (WITH SODDING)

LOCATION IN MANUAL: 6-61, 6-62

CONSTRUCTION EXIT

LOCATION IN MANUAL: 6-141

SEDIMENT TRAP - TYPE P

LOCATION IN MANUAL: 6-142

SEDIMENT BARRIER - NONSENSITIVE AREAS

LOCATION IN MANUAL: 6-193

INLET SEDIMENT TRAP - FILTER FABRIC WITH SUPPORTING FRAME

LOCATION IN MANUAL: 6-202

SEDIMENT TRAP - TYPE P

LOCATION IN MANUAL: 6-142

SEDIMENT STORAGE - CALCULATIONS

LOCATION IN MANUAL: 6-131

SEDIMENT STORAGE - CALCULATIONS

LOCATION IN MANUAL: 6-131

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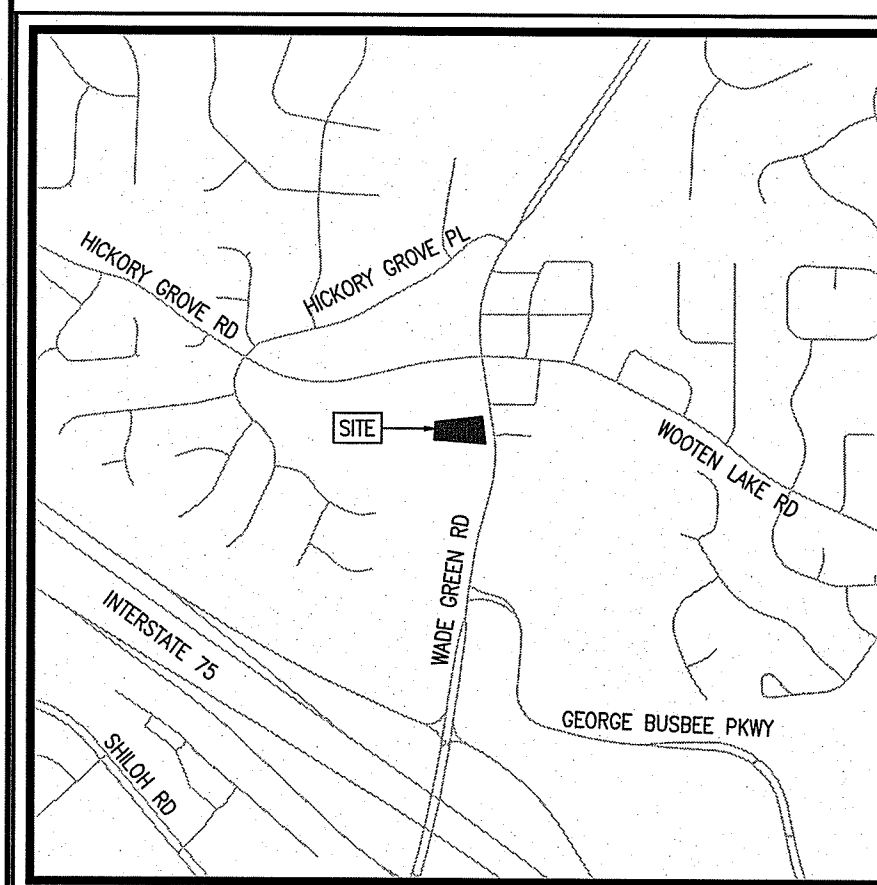
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COBB COUNTY APPROVED FOR CONSTRUCTION

WATER SYSTEM NOTES

1. THE CONTRACTOR SHALL COORDINATE ALL UTILITY INSTALLATIONS, INCLUDING THE LOCATION OF WATER SERVICE LINE WITH PLUMBING STUBS FROM THE BUILDINGS.
2. THE CONTRACTOR SHALL INSTALL ALL PROPOSED UTILITIES IN ACCORDANCE WITH THE LATEST OGD & ANNA STANDARDS AND REQUIREMENTS.
3. ALL PROPOSED VALVES, HYDRANTS, METERS, ETC. ARE NOT TO SCALE DUE TO GRAPHIC REPRESENTATION PURPOSES. SEE UTILITY CONSTRUCTION DETAILS FOR ACTUAL FIELD LOCATION.
4. PVC SERVICE LINES & PVC MATERIALS SHALL BEAR THE NATIONAL SANITATION FOUNDATION SEAL OF APPROVAL FOR POTABLE WATER SERVICE.
5. THE CONTRACTOR SHALL CONTACT THE COBB COUNTY UTILITY DEPARTMENT 24 HOURS PRIOR TO COMMENCING CONSTRUCTION.
6. EXISTING UNDERGROUND UTILITY LOCATIONS AS SHOWN SHOULD BE CONSIDERED APPROXIMATE AND MAY NOT BE COMPLETE. UNDERGROUND UTILITIES AS SHOWN ARE BASED ON INFORMATION PROVIDED BY THE UTILITY OWNERS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE LOCATION & ELEVATION OF ANY AND ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY PIPE OR STRUCTURES. PIPE LOCATORS AND/OR MANUAL EXCAVATION SHALL BE USED TO LOCATE EXISTING UTILITIES OR OBSTRUCTIONS. THE LOCATIONS OF EXISTING UTILITIES, SUCH AS WATER MAINS, SEWER LINES, GAS LINES, ETC., AS SHOWN ON THE PLANS, HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. HOWEVER, THE ENGINEER AND THE OWNER DO NOT ASSUME ANY RESPONSIBILITY FOR THE ACCURACY OF THE LOCATIONS SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL UTILITY COMPANIES SEVENTY-TWO (72) HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY AND HAVE THEIR FACILITIES LOCATED IN THE FIELD. ANY DAMAGE TO SUCH UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
7. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND SIZE OF THE EXISTING WATER MAIN AND EXISTING SANITARY SEWER SERVICE STUBS PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO WILLIAMS & ASSOCIATES IMMEDIATELY. DEPTH OF EXISTING WATER MAIN: APPROXIMATELY 4'.
8. THE CONTRACTOR SHALL INSTALL AN APPROPRIATE BACKFLOW PREVENTION DEVICE AS APPROVED BY THE COUNTY ON ALL SERVICE CONNECTIONS INCLUDING IRRIGATION AND FIRE SUPPRESSION SYSTEM (IF REQUIRED OR PROPOSED).
9. PRIOR TO PERFORMING ANY LAND DISTURBING ACTIVITIES OR WHEN WORK IS TO BE PERFORMED WITHIN 10 FEET OF HIGH VOLTAGE OVERHEAD POWER LINES, THE CONTRACTOR IS REQUIRED BY LAW TO NOTIFY THE UTILITY PROTECTION CENTER AT 1-800-282-7411. A 72 HOUR ADVANCE NOTICE IS REQUIRED.
10. WATER LINE SHALL DIVERT ANY STORM SEWER PIPES BY GOING BELOW THE STORM SEWER PIPE.
11. PIPE BEDDING SHALL BE IN ACCORDANCE WITH DETAILS.
12. THRUST BLOCKS SHALL BE PLACED AT ALL PLUGS, TEES AND BENDS 11.25' AND GREATER.
13. DISINFECTION OF WATER MAINS AND DISPOSAL OF HEAVILY CHLORINATED WATER SHALL BE IN ACCORDANCE WITH ANNA STANDARDS.
14. ALL PROPOSED WATER MAINS WILL BE SURROUNDED BY AN EASEMENT AT A MINIMUM OF 10' IN WIDTH FROM BOTH SIDES OF THE CENTERLINE OF THE MAIN.
15. PVC, FDC, & FIRE HYDRANTS SHALL NOT BE OBSTRUCTED BY PARKING SPACES OR LANDSCAPING.



VICINITY MAP

SCALE: 1" = 1000'

EXISTING UTILITIES NOTE

THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO DIGGING, INCLUDING GAS, ELECTRICAL AND TELECOMMUNICATION LINES. EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE. ANY DAMAGE TO SUCH UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. W&A ENGINEERING SHALL BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY.

EROSION CONTROL NOTES

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND SHALL BE MAINTAINED UNTIL A PERMANENT GROUND COVER IS ESTABLISHED.

SOIL EROSION PREVENTION METHODS THAT ARE DEEMED NECESSARY ON THIS SITE WILL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL ORDINANCES AND CODES.

WATER AND SEWER DETAILS NOTE

ADDITIONAL UTILITY NOTES AND DETAILS ARE LOCATED ON A SEPARATE DETAIL SHEET. CONTRACTOR SHALL APPLY ALL NOTES AND DETAILS TO THE PROPOSED IMPROVEMENTS.

EXISTING UTILITIES NOTE

THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO DIGGING, INCLUDING GAS, ELECTRICAL AND TELECOMMUNICATION LINES. EXISTING UTILITIES SHOWN ON PLAN ARE APPROXIMATE. ANY DAMAGE TO SUCH UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. W&A ENGINEERING SHALL BE NOTIFIED OF ANY DISCREPANCIES IMMEDIATELY.

EROSION CONTROL NOTES

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ON THE SITE AND SHALL BE MAINTAINED UNTIL A PERMANENT GROUND COVER IS ESTABLISHED.

SOIL EROSION PREVENTION METHODS THAT ARE DEEMED NECESSARY ON THIS SITE WILL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL ORDINANCES AND CODES.

GENERAL NOTES

1. ALL UTILITIES ARE APPROXIMATELY LOCATED.
2. ALL PROPOSED UTILITIES ARE TO BE LOCATED WITHIN UTILITY EASEMENTS.
3. ALL SIGNS SHALL BE IN COMPLIANCE WITH COBB COUNTY CODES AT THE TIME THE PERMITS ARE REQUESTED.
4. STORM WATER MANAGEMENT SHALL BE IN ACCORDANCE WITH ALL COUNTY, STATE AND OTHER APPROPRIATE ORDINANCES AND REGULATIONS IN EFFECT AT THE TIME OF CONSTRUCTION PLAN APPROVAL.

EXISTING SEWER SERVICE NOTE

ANY EXISTING SANITARY SEWER SERVICES WHICH WERE UNABLE TO BE FIELD LOCATED ARE TO BE CAPPED AND PLUGGED WHEN THEIR LOCATION IS DETERMINED DURING THE ONSITE DEMOLITION OF THE EXISTING BUILDINGS.

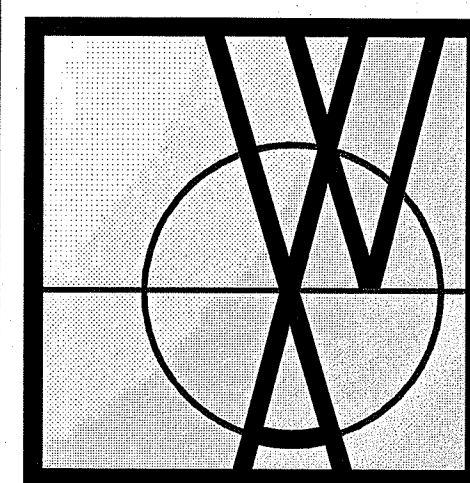
COBB COUNTY NOTES

1. ALL DUMPSTER DRAINAGE FACILITIES ARE TO BE INSTALLED AND MAINTAINED BY OWNER.
2. IT IS THE OWNER/DEVELOPER'S RESPONSIBILITY TO INSTALL AND MAINTAIN GREASE TRAPS.
3. PLEASE CALL ENVIRONMENTAL COMPLIANCE AT 770-419-6430 FOR THE REQUIRED GREASE TRAP, DUMPSTER TRAP, OR SAND AN OIL/GREASE INTERCEPTOR INSPECTION. PROVIDE A 3-WORK-DAY NOTICE. TRAPS MUST BE LEFT UNCOVERED.
4. THE PROPOSED ON-SITE WASTEWATER COLLECTION SYSTEM IS PRIVATE AND MUST BE DESIGNED, INSTALLED, AND INSPECTED IN ACCORDANCE WITH COBB COUNTY PLUMBING CODES. CALL 528-2134 FOR SITE INSPECTIONS.
5. SITE PLAN APPROVAL DOES NOT INCLUDE TANKS. TANKS SHALL BE PERMITTED SEPARATELY AT CCFMO. INSPECTIONS ARE REQUIRED TO BE SCHEDULED ONLINE AT WWW.COBBFMO.ORG.
6. NO GATE WILL BE INSTALLED WITHOUT FIRE MARSHAL APPROVAL.
7. ANY STAR OR MEANS OF EGRESS COMPONENT SHOWN ON THESE PLANS IS OUTSIDE OF THE LAND DISTURBANCE PERMIT REVIEW PROCESS. ALL STAIRS AND OTHER MEANS OF EGRESS COMPONENT MUST BE SUBMITTED FOR REVIEW AND APPROVAL BY THE FIRE MARSHAL'S OFFICE PRIOR TO CONSTRUCTION.
8. FINAL DETERMINATION OF FIRE PROTECTION (SPRINKLERS, STANDPIPES AND ALARMS) WILL BE MADE DURING THE LIFE SAFETY CODE PLAN REVIEW FOR THE BUILDING. PRELIMINARY REQUIREMENTS CONTAINED ON SITE PLANS ARE BASED ON INITIAL REVIEW AND ARE SOMETIMES ACCEPTED AS EQUIVALENCES DUE TO SITE ACCESS OR OTHER ISSUES WITH THE SITE. IF THE SITE PLANS CONTAIN REQUIREMENTS FOR FIRE PROTECTION SYSTEMS THE SITE APPROVAL IS CONTINGENT ON PROVIDING THE REQUIRED SYSTEMS.
9. ALL COBB COUNTY FIRE MARSHAL OFFICE INSPECTIONS ARE REQUIRED TO BE SCHEDULED ONLINE AT WWW.COBBFMO.ORG.
10. MAINTAIN ACCESS FOR FIRE APPARATUS TO ALL BUILDINGS UNDER CONSTRUCTION INCLUDING TIMES OF RAIN OR MUD. ROADS SHALL BE MAINTAINED AND MINIMALLY PROVIDED WITH CRUSHED STONE BASE AT 20' WIDE.
11. THE OWNER/DEVELOPER SHALL DESIGNATE A FIRE PREVENTION PROGRAM SUPERINTENDENT IN ACCORDANCE WITH IFC 3308 AND NFPA 241. THE OWNER/DEVELOPER SHALL NOTIFY THE FMO PRIOR TO THE START OF CONSTRUCTION WITH THE NAME AND CONTACT INFORMATION FOR THE SUPERINTENDENT. THE SUPERINTENDENT SHALL BE FAMILIAR WITH THE REQUIREMENTS OF IFC 3308 AND NFPA 241 AS ADOPTED BY THE STATE OF GEORGIA.
12. ALL COMMERCIAL PROJECTS REQUIRE THE INSTALLATION OF AN APPROVED TESTABLE DOUBLE CHECK VALVE ASSEMBLY BY THE OWNER/DEVELOPER ON THE CUSTOMER-SIDE OF DOMESTIC AND IRRIGATION METERS. BUSINESSES THAT POSE A GREATER DEGREE OF HAZARD MAY REQUIRE ADDITIONAL PROTECTION. THE DOUBLE DETECTOR CHECK VALVE DOES NOT REQUIRE A BACKFLOW PREVENTION DEVICE.
13. EXISTING MANHOLES MUST BE CORED & BOOTED WITH A KOR-N-SEAL OR EQUAL RUBBER BOOT. PLEASE CALL 770-419-6320 TO SCHEDULE INSPECTION OF SEWER TIE-IN.

THE OWNER HEREBY DESIGNATES (PRINT) **KIRK FARRELLY, P.E.** AS THE FIRE PREVENTION PROGRAM SUPERINTENDENT. THE ABOVE-NAMED PERSON SHALL BE RESPONSIBLE FOR COMPLIANCE WITH IFC CHAPTER 3300 IN ITS ENTIRETY AND NFPA 241-09. FAILURE TO COMPLY CAN RESULT IN STOP WORK ORDERS AND/OR CITATION.

THE COBB COUNTY ARBORIST OR LANDSCAPE ARCHITECT MUST APPROVE THE SITE LIGHTING PLAN. LIGHT POLES ARE NOT PERMITTED IN PARKING PENINSULAS, ISLANDS AND MEDIAN WITHOUT THE PRIOR APPROVAL OF THE COUNTY ARBORIST. 20' MINIMUM SPACING IS REQUIRED BETWEEN THE TRUNK OF ANY PROPOSED OVER-STORY HARDWOOD TREE (OR EXISTING TREE COUNTED FOR TREE ORNAMENTAL CREDIT) AND ANY EXISTING OR PROPOSED LIGHT POLE. IF THE SERVICE PROVIDER (ELECTRIC COMPANY) PRODUCES A LIGHTING PLAN, IT SHALL ADHERE TO THE LIGHTING PLAN SHOWN IN THE CIVIL ENGINEERING DRAWINGS APPROVED BY COBB COUNTY FOR THE LAND DISTURBANCE PERMIT. IF A LIGHTING PLAN IS NOT PART OF THE CIVIL DRAWINGS, THE LIGHTING PLAN DESIGNER MUST SUBMIT A PLAN TO THE ARBORIST/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. IF SITE LIGHTING IS INSTALLED WITHOUT AN APPROVED PLAN, THE CERTIFICATE OF OCCUPANCY WILL BE WITHHELD UNTIL ALL CONFLICTING POWER POLES ARE MOVED. CALL 770-528-2147.

SCALE 1" = 20'



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STARBUCKS KENNESAW

COBB COUNTY, GEORGIA
4383 WADE GREEN ROAD - 0.708 ACRES

DATE: 04.03.2019

REVISIONS

DATE	COMMENT
05.08.19	REVISED PER COBB COUNTY COMMENTS
05.13.19	REVISED PER COBB COUNTY FIRE & EMERGENCY SERVICES COMMENTS
05.17.19	REVISED PER COBB COUNTY WATER & SEWER DEPARTMENT COMMENTS

Know what's below.
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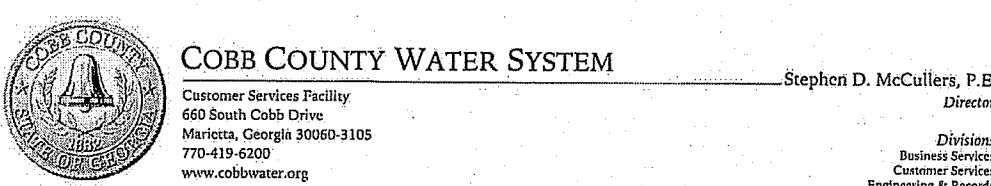
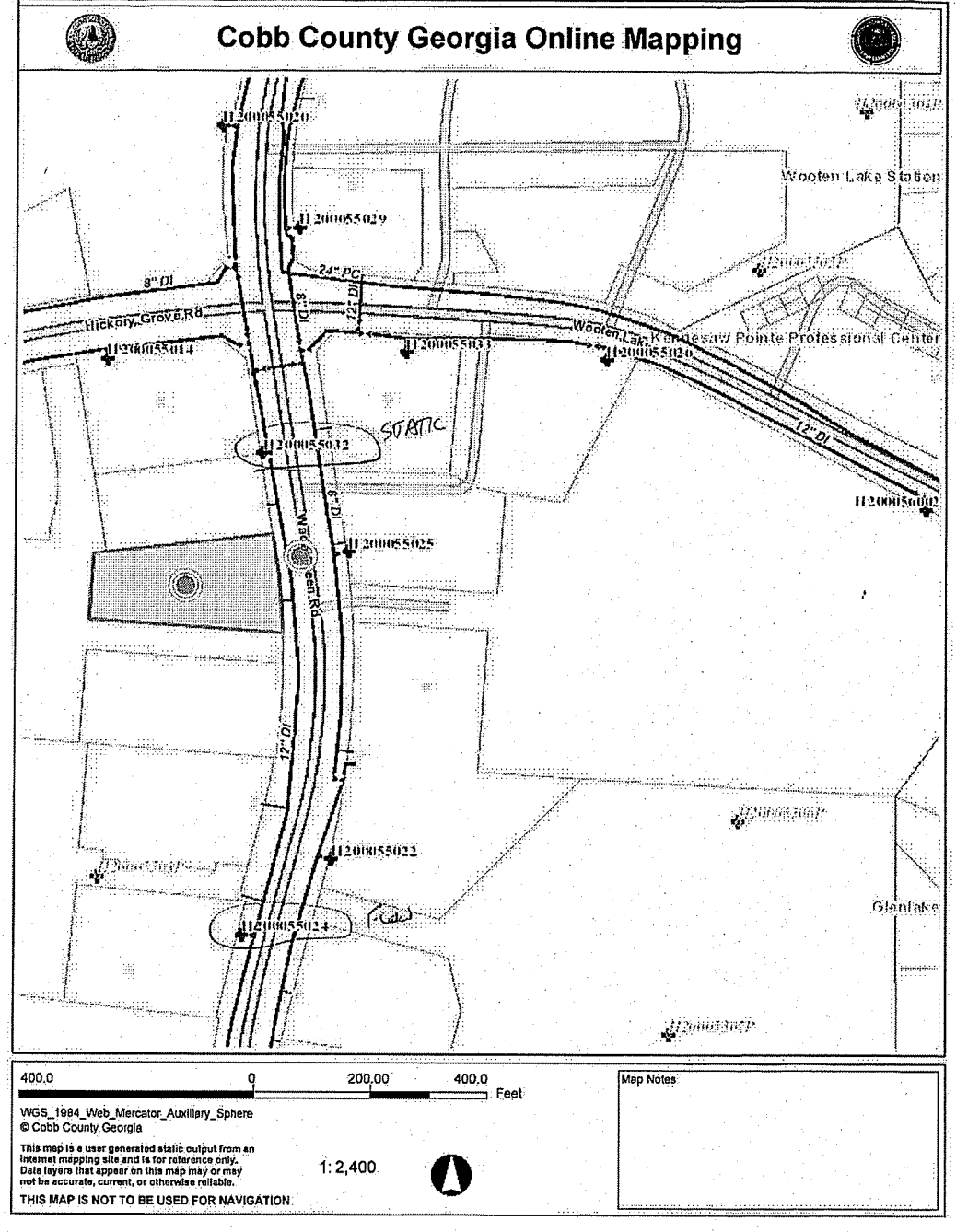
18365

UTILITY PLAN

C501

PERMIT SET

CCWS



COBB COUNTY WATER SYSTEM
Cobb County Water System
660 South Cobb Drive
Marietta, Georgia 30060-3105
770-419-6200
www.cobbwater.org

To whom it concerns:
A Fire Flow Test has been conducted by the Cobb County Water System for the following project:

PROJECT NAME: **STARBUCKS KENNESAW**
STREET NAME: **WADE GREEN ROAD**
DISTRICT: **28**
LAND LOT(S): **85**
DEVELOPER: **CAPITAL GROWTH BUCHALTER, INC.**
CONTACT NAME: **KIRK FARRELLY** PHONE: **205-263-6889**
TYPE OF DEV: **COMMERCIAL**

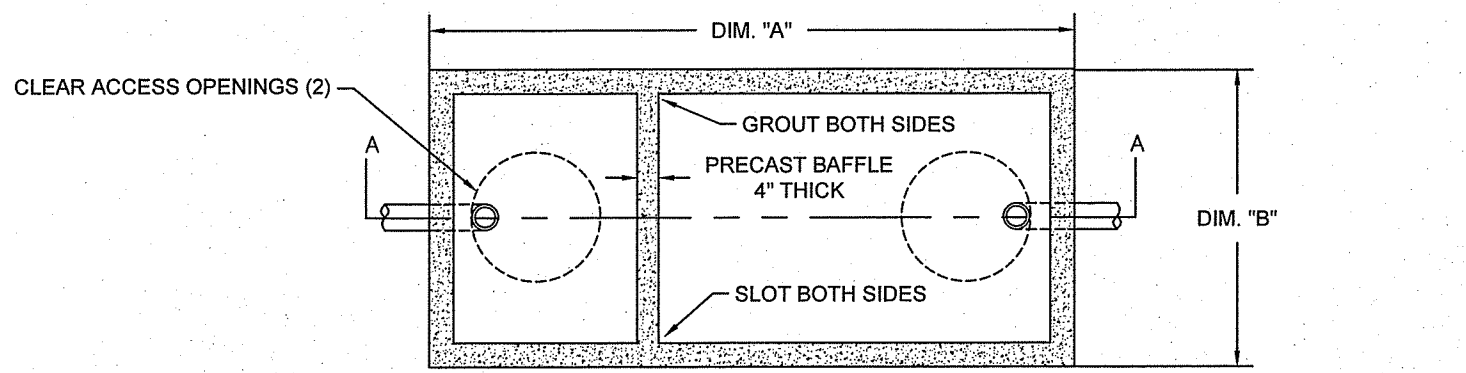
The results of this test are:

TEST DATE:	4/26/2019
STATIC PRESSURE	44 PSI
RESIDUAL PRESSURE	42 PSI
FIRE HYDRANT FLOW	1000 GPM
AVAILABLE FLOW AT 20 psi	3026 GPM
SIZE OF WATER MAIN (UNCONFIRMED)	12 INCHES

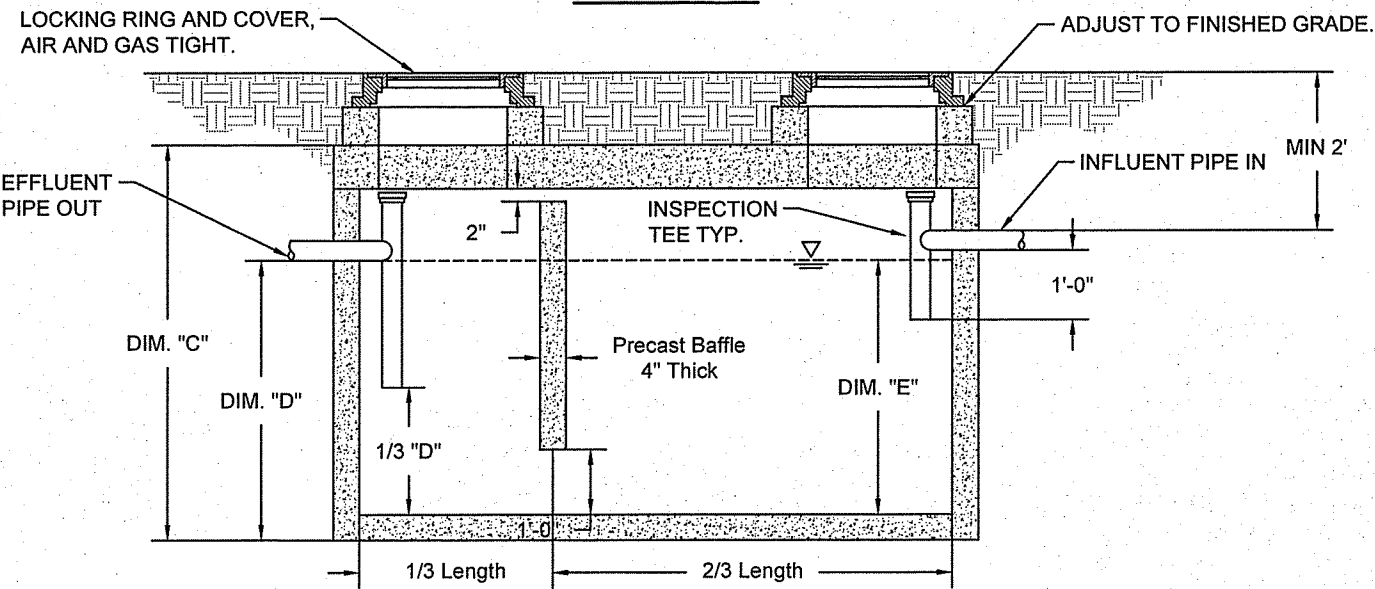
The data contained herein are furnished only to demonstrate that adequate fire protection flow exists at the time of the test. Fluctuations in pressure and flow will occur due to demands on the system and other conditions beyond the control of the Cobb County Water System; therefore, additional criteria must be considered and additional independent tests run to confirm pressures for use in the design of any water distribution, sprinkler, or fire protection system.

For Cobb County Water System Use Only:
STATIC/HYDRANT NO. **H20605002**
FLOW HYDRANT NO. **H20605004**

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www.cobbcounty.org



PLAN VIEW



SECTION A-A

SIZING CHART					
DIM "A"	DIM "B"	DIM "C"	DIM "D"	DIM "E"	Capacity (gal)
11'-2"	5'-8"	7'-2"	4'-4"	4'-6"	1500

GREASE TRAP CALCULATIONS

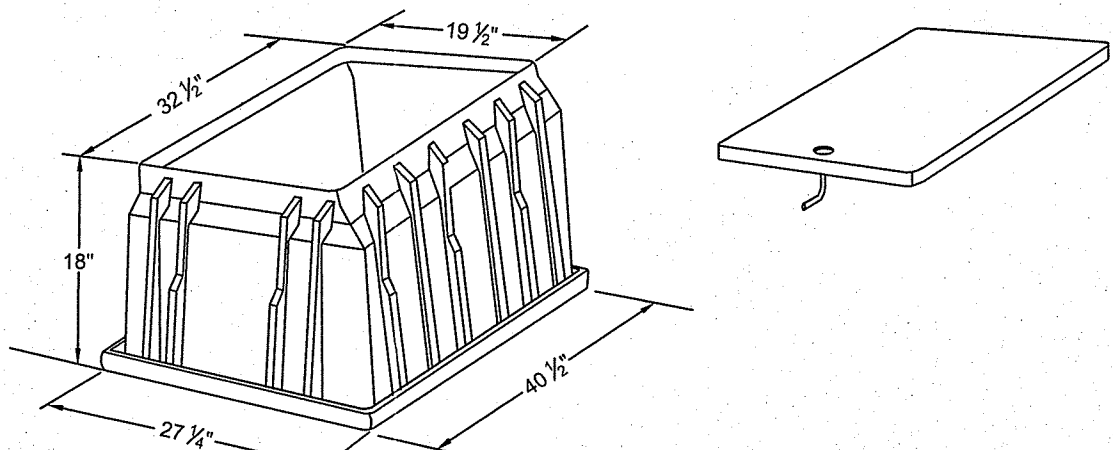
72 SEATS
15 GALLONS / SEAT
16 HOURS
LOAD FACTOR 1/12
GREASE TRAP SIZE: $72 \times 15 \times 16 \times (1/12) = 1440$ GALLONS
GREASE TRAP USED: 1,500 GALLONS

NOTES

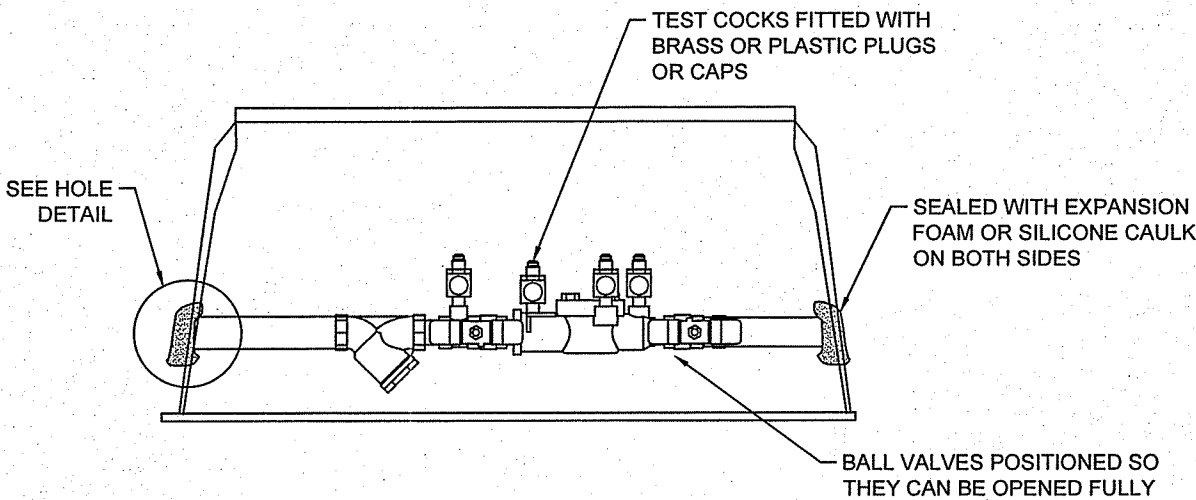
1. CONCRETE: 28 DAY CURE / C= 4500 PSI
2. REBAR: ASTM A615 GRADE 60
3. MESH: ASTM #4-18S GRADE 65
4. DESIGN: AC1318-83 BUILDING CODE, ASTM C-857 MINIMUM STRUCTURAL DESIGN LOADING FOR UNDERGROUND PRECAST CONCRETE UTILITY STRUCTURES.
5. LOADS: H-20 TRUCK WHEEL WITH 30% IMPACT PER MSHTO
6. FILL WITH CLEAN WATER PRIOR TO START OF SYSTEM.
7. CONTRACTOR TO SUPPLY AND INSTALL ALL PIPING AND SANITARY TEES.
8. GRAY WATER ONLY, BLACK WATER SHALL BE CARRIED BY SEPARATE SEWER.
9. MINIMUM 4\"/>

GREASE TRAP DETAIL (2-BAFFLE DESIGN)

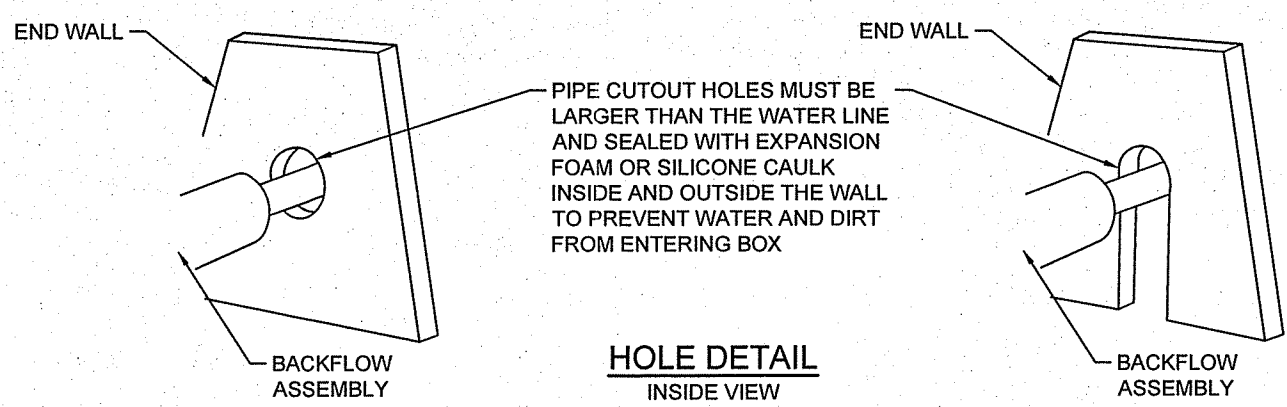
N.T.S.



CARSON IND. SERIES METER BOX WITH COVER
(OR EQUIVALENT) USED FOR ALL ASSEMBLIES 2\"/>



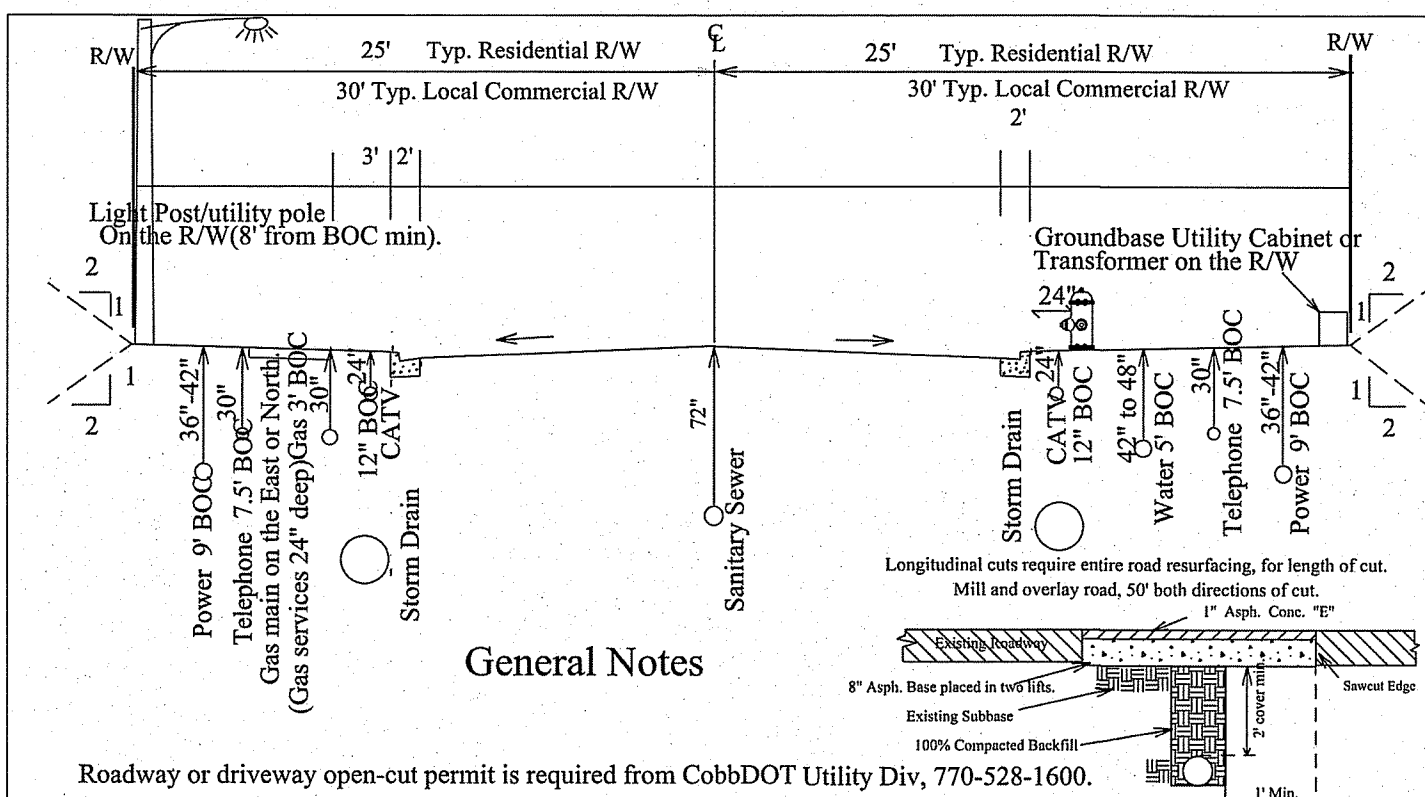
DOUBLE CHECK ASSEMBLY DETAIL



HOLE DETAIL
INSIDE VIEW

DOUBLE CHECK ASSEMBLY DETAIL - 2\"/>

N.T.S.



General Notes

Roadway or driveway open-cut permit is required from CobbDOT Utility Div, 770-528-1600.

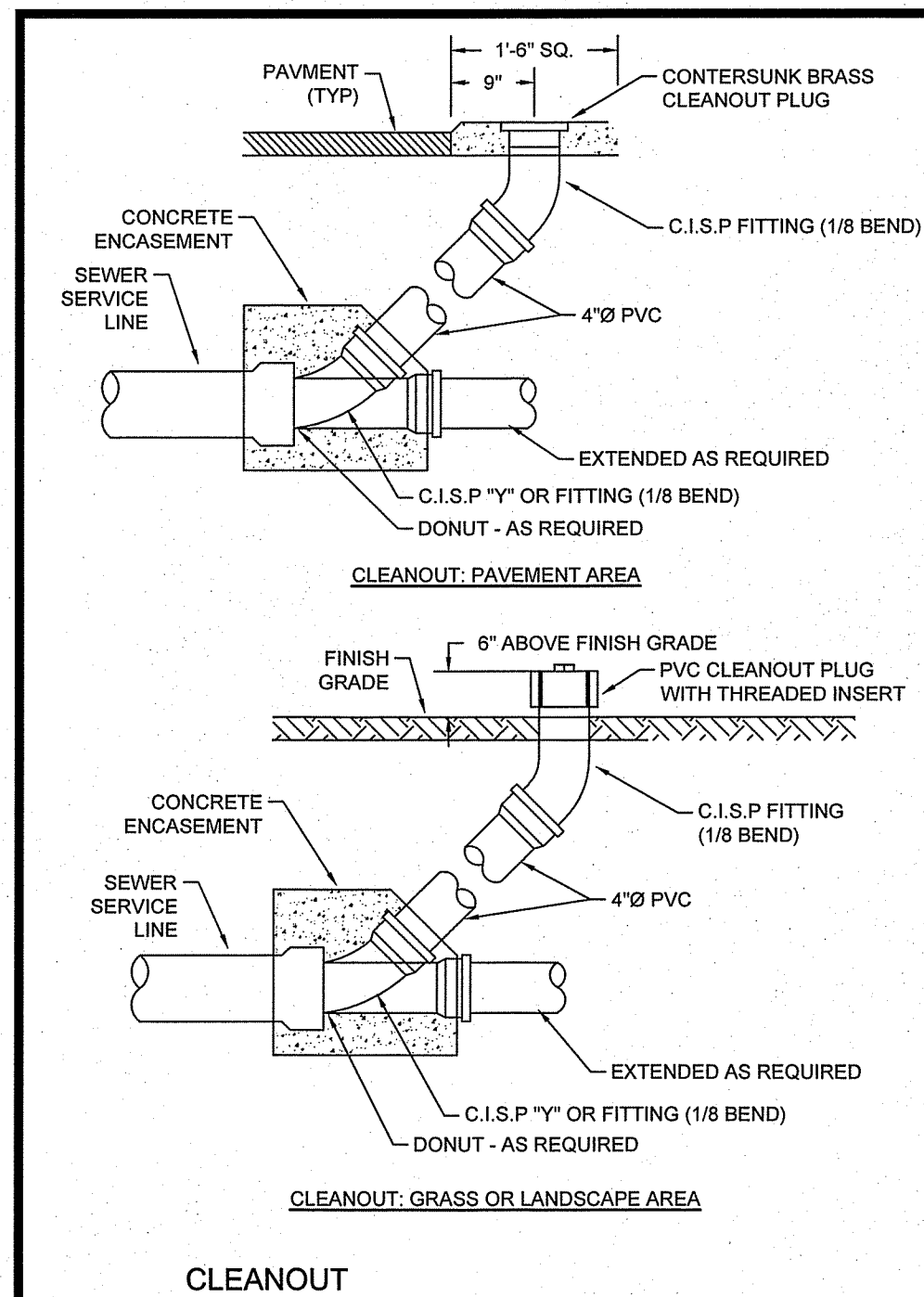
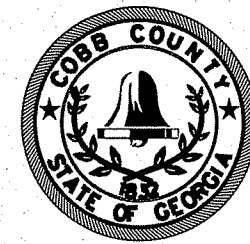
Landscaping, structures or Irrigation Systems are NOT allowed in the R/W.

Trench Repair Detail for road crossing

1. Storm Drain location and size shown as guide only. Design to dictate actual size and location. Utility adjustments to be approved by site inspector.
2. Sidewalks are to be placed on the North or East side of street.
3. Waterline to be placed on the West or South side of street.
4. SIGNAL NOTES:- All signal plans must be submitted to and approved by the Traffic Signal Engineer, prior to LDP approval.
 - Any traffic signal work shall be performed in accordance with current Cobb County DOT Traffic Signal Specifications by an approved Traffic Signal Contractor. Any traffic signal equipment damaged as a result of this project shall be replaced/upgraded by the contractor/developer immediately. Damaged loops shall be replaced/upgraded with Video Detection.
 - Developer/Contractor is required to maintain vehicle detection without interruption for all traffic signal phases affected during construction of the project. Approved video detection shall be used for presence detection and approved video or microwave detection shall be used for pulse detection. Additional poles/equipment may be required to support these detection devices. Contact the Traffic Signal Engineer at (770) 528-3664 for any traffic signal related issues. Contact the Signal Maintenance Supervisor at (770) 528-1689 to locate any signal equipment if proposed development is within 450' or less of a signalized intersection.
5. Street lighting to be designed by power company and approved by CobbDOT Street Light Administrator.
6. Construction equipment shall not be parked in areas which restrict sight distance to any drives or streets.
7. Street lane or total road closure permit: The contractor is required to obtain one of these permits prior to beginning any work. Contact CobbDOT Operations at 770-528-1600.
8. Contractor shall maintain driveway access and postal service at all times.
9. Any infrastructure (pavement, signals, drainage structures, curb, sidewalk, etc. damaged or displaced as part of this project shall be replaced by the contractor. Curb and Sidewalk shall be replaced, full section joint to joint.
10. Measurements shown above are from the Back of Curb (BOC) to center of structure.
11. All Bore, Sidewalk and Roadway cuts for water and sewer installation within Cobb County R/W shall require a CDOT Utility Permit. Contact CCWS to begin the permit process. Allow up to two weeks after permit application for CobbDOT approval.
12. No drop-offs adjacent to the roadway after work hours.
13. 1' Shoulder is required. All poles are to be 8' from back of curb, minimum.
14. Traffic control devices (signs, signals, markings) and certified flagman are required and shall meet MUTCD Standards latest edition.

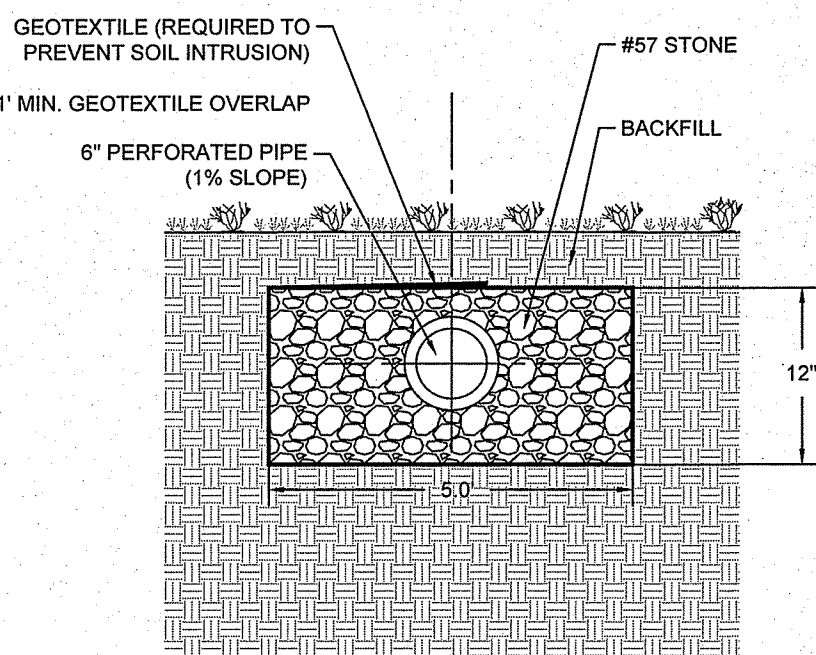
For all commercial and residential work in the R/W.

DETAIL 80 UTILITY STANDARD



CLEANOUT

N.T.S.

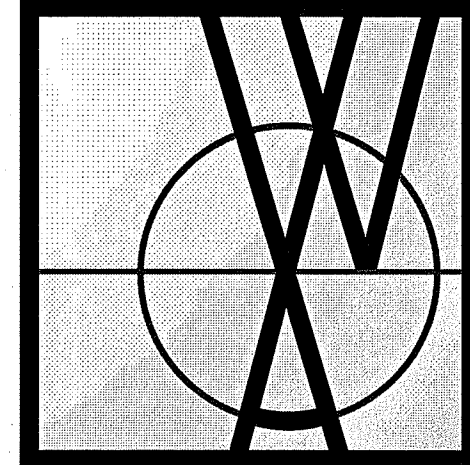


DRAIN FIELD DETAIL

N.T.S.

NOTES

1. PROVIDE 240 CF OF #57 STONE WITH 6\"/>
2. LIMIT STONE DEPTH TO +/- 12\"/>
3. CONTRACTOR TO 6\"/>



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STARBUCKS KENNESAW

COBB COUNTY, GEORGIA
4383 WADE GREEN ROAD - 0.708 ACRES

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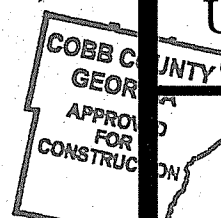
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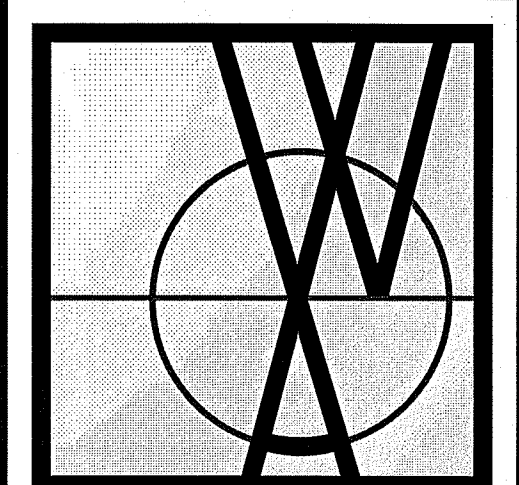
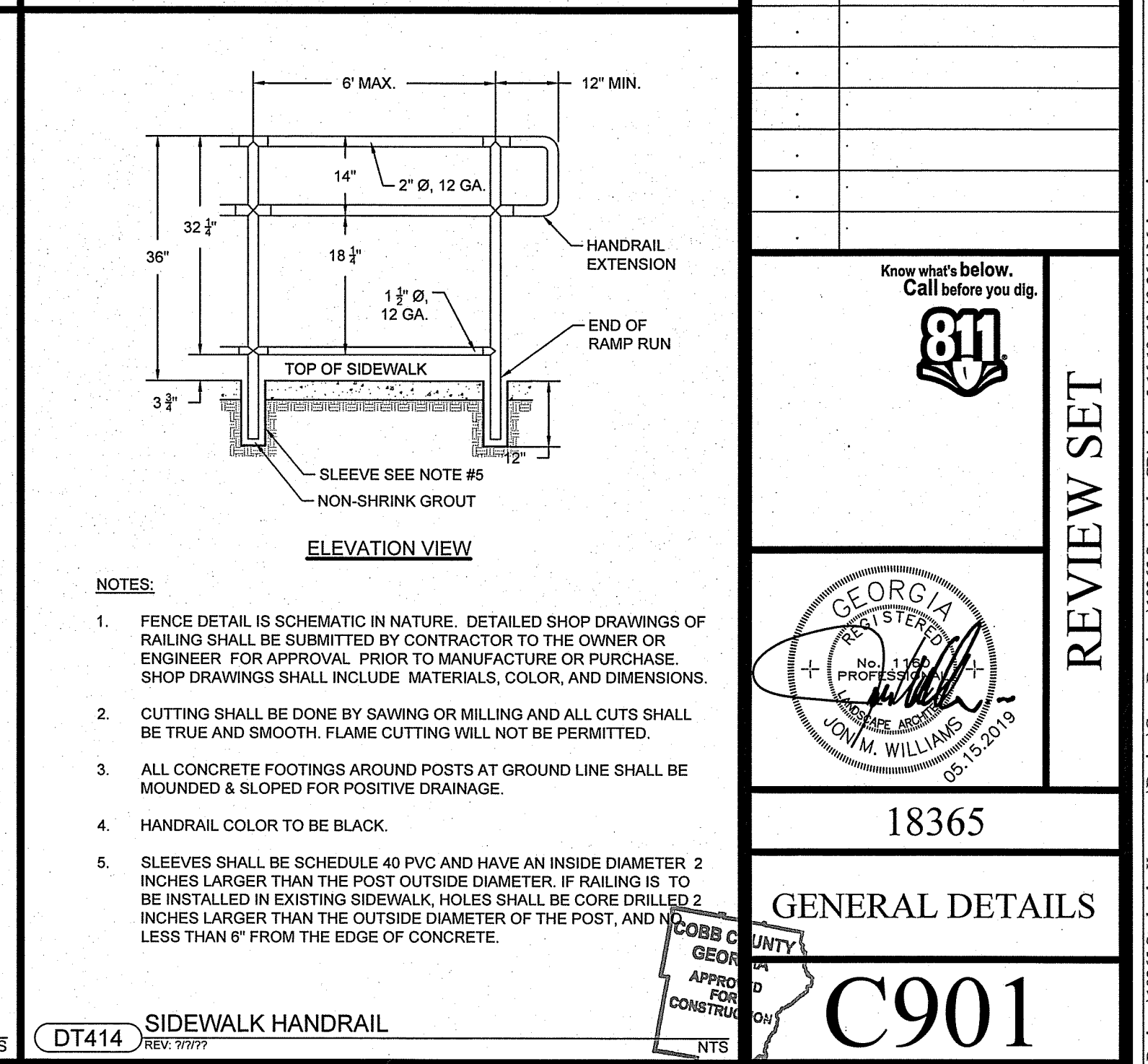
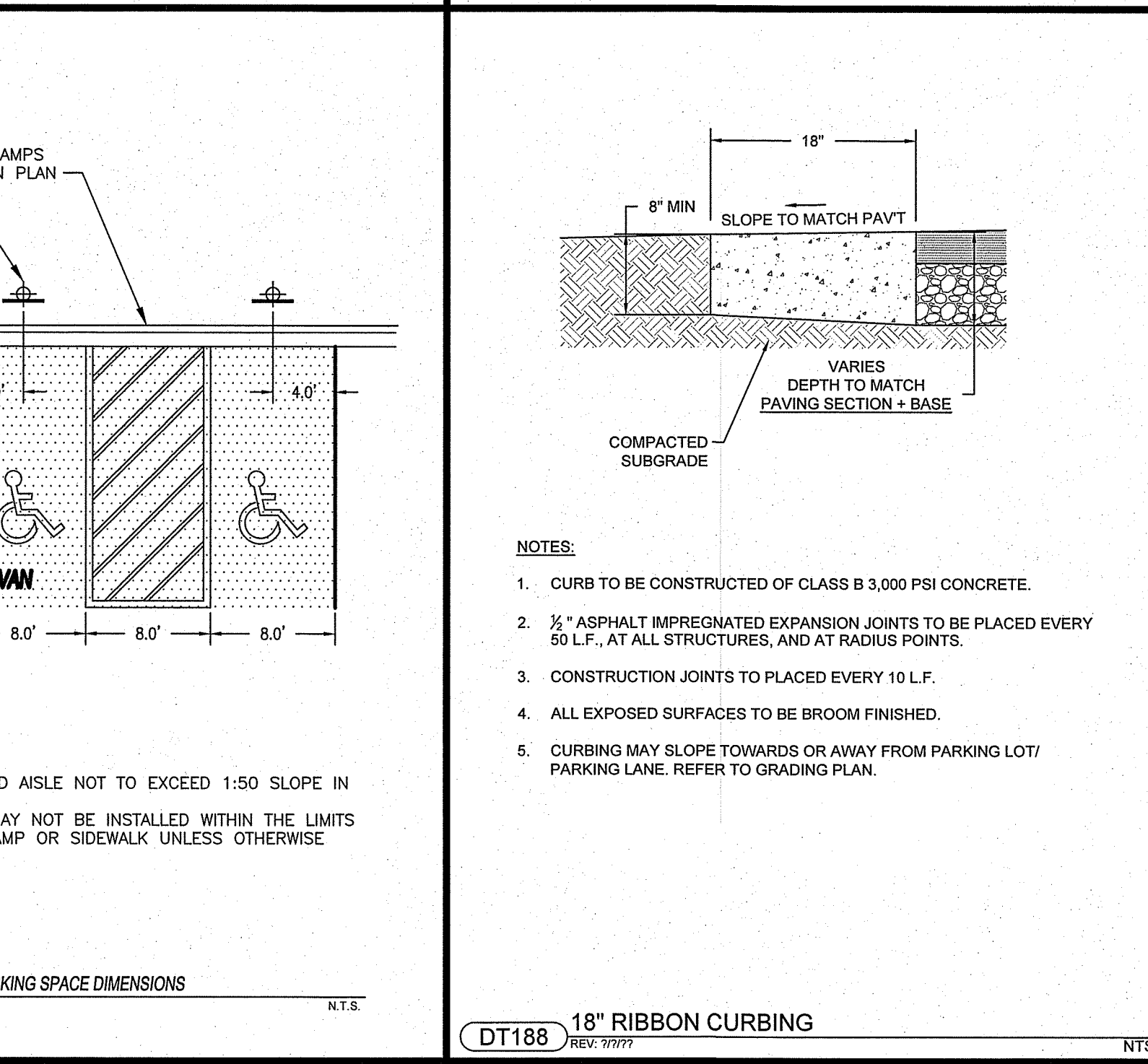
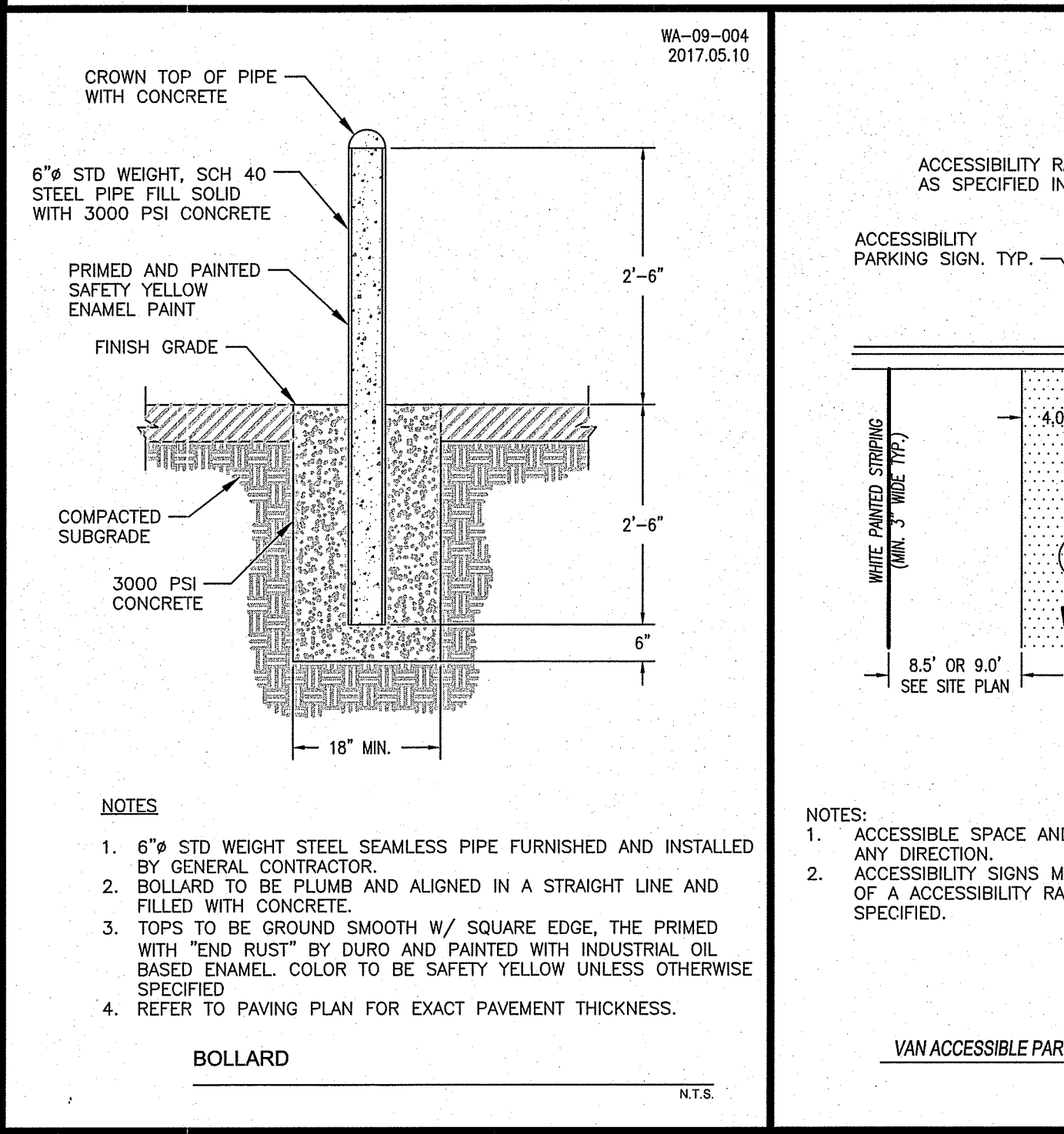
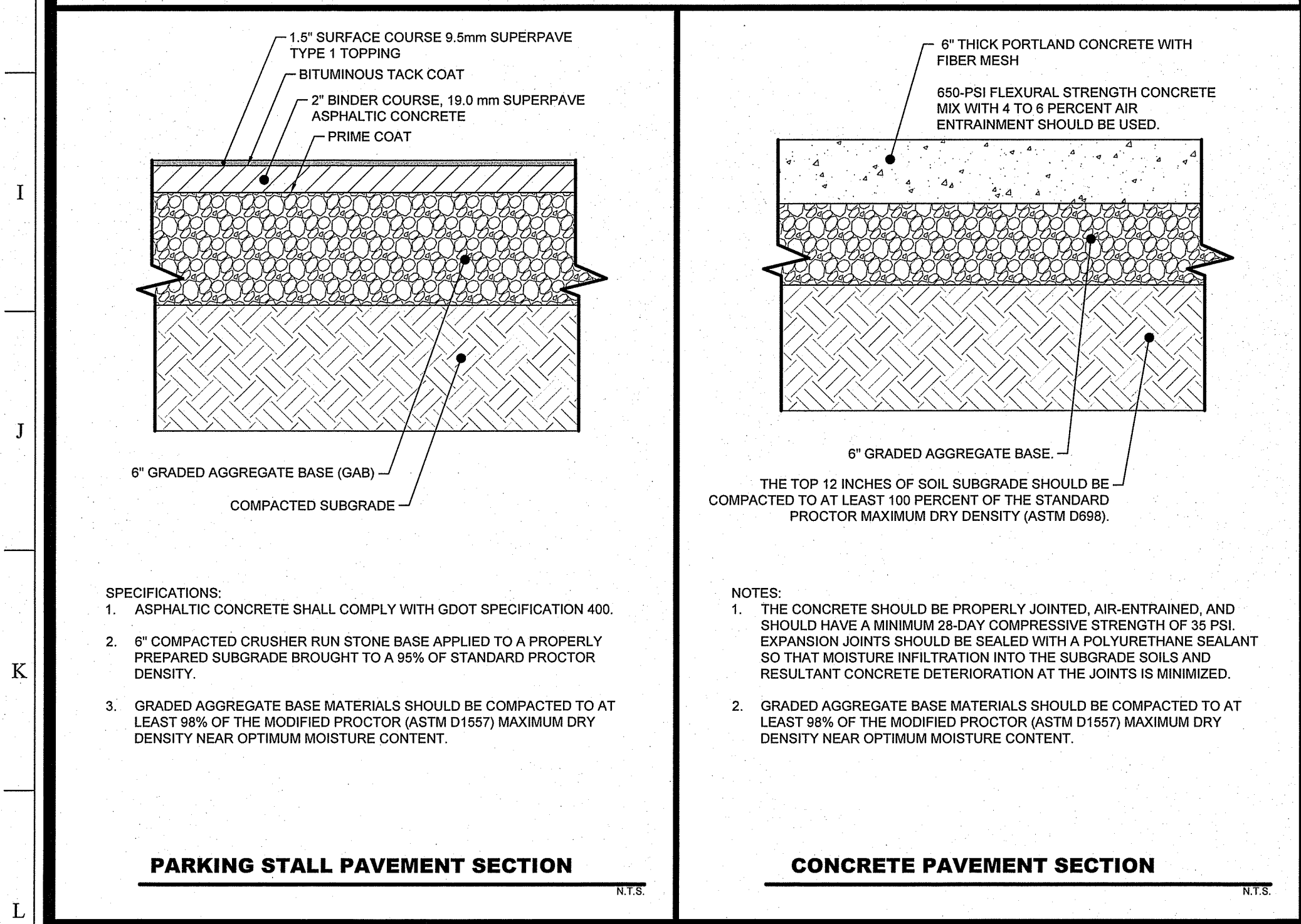
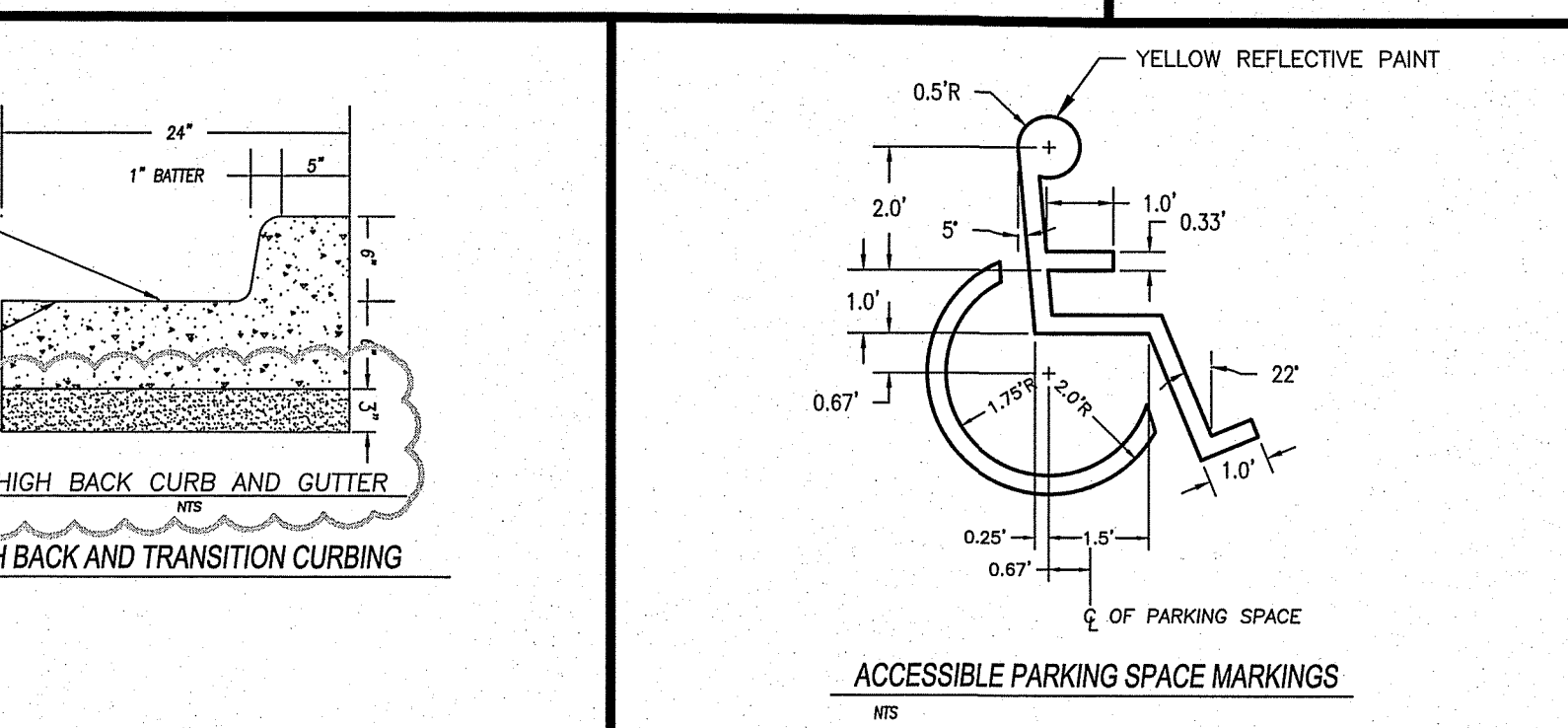
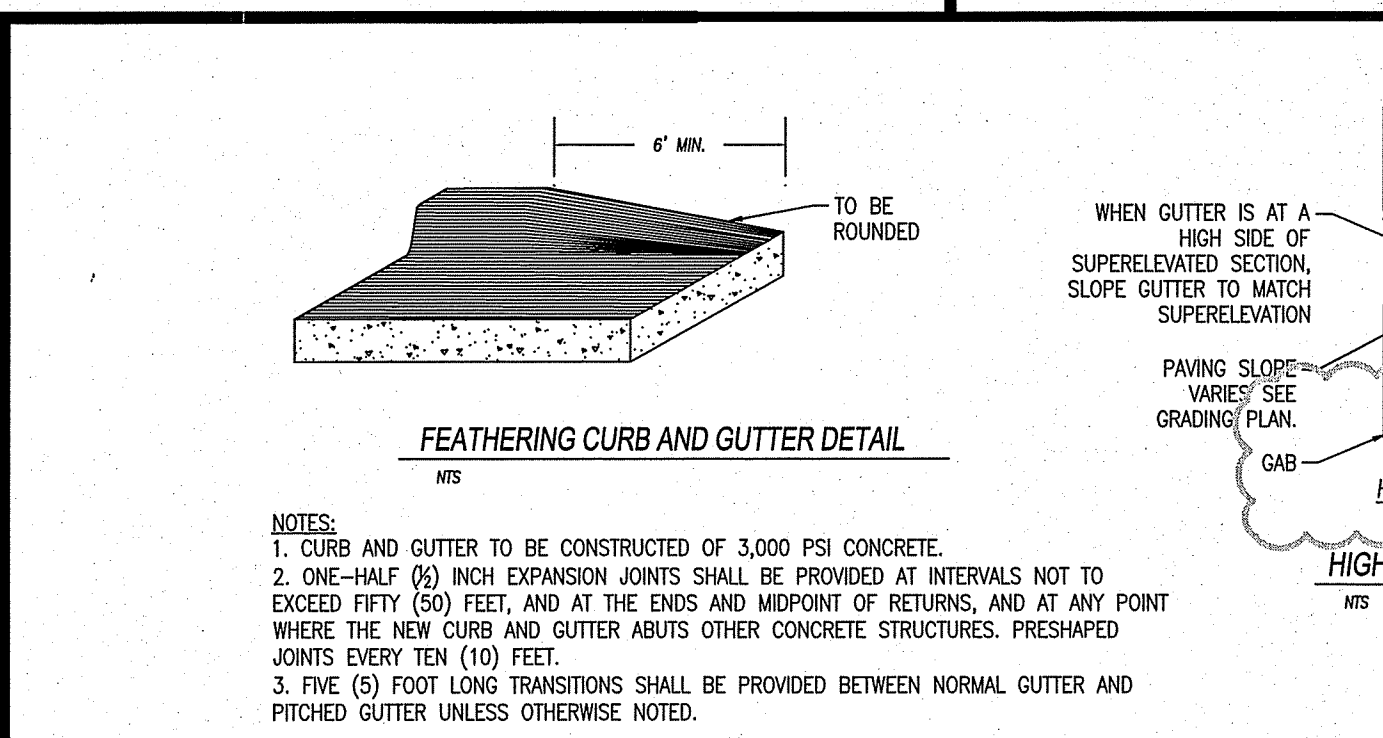
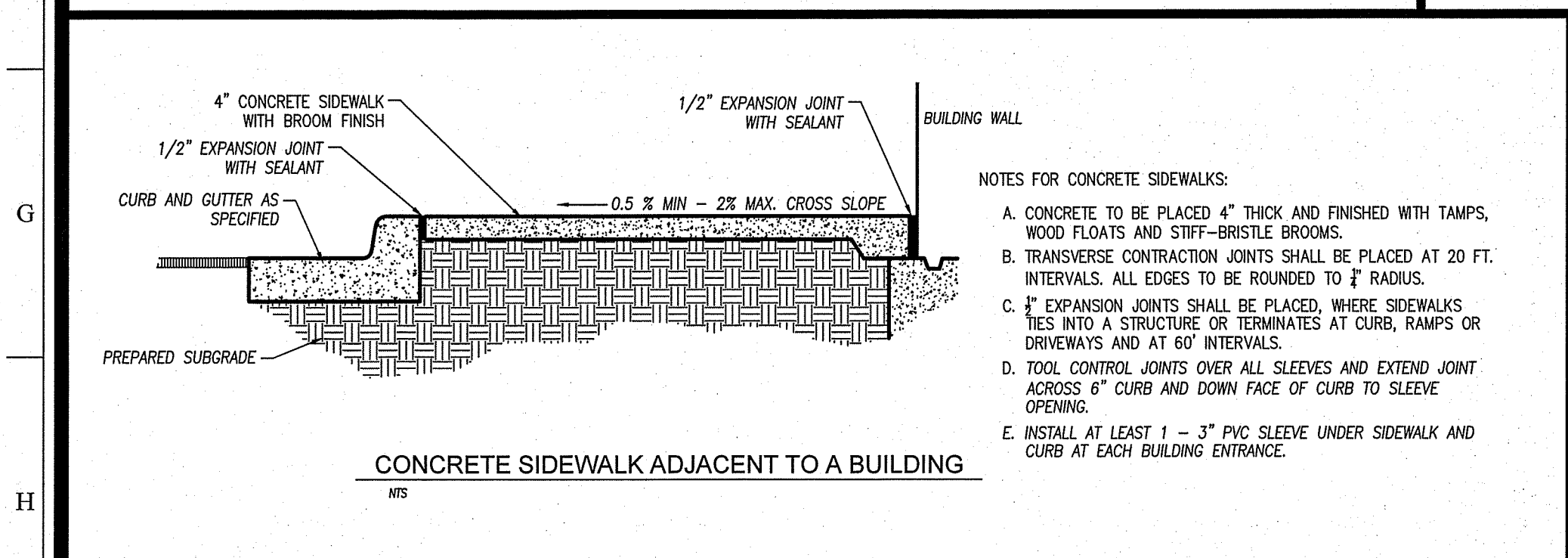
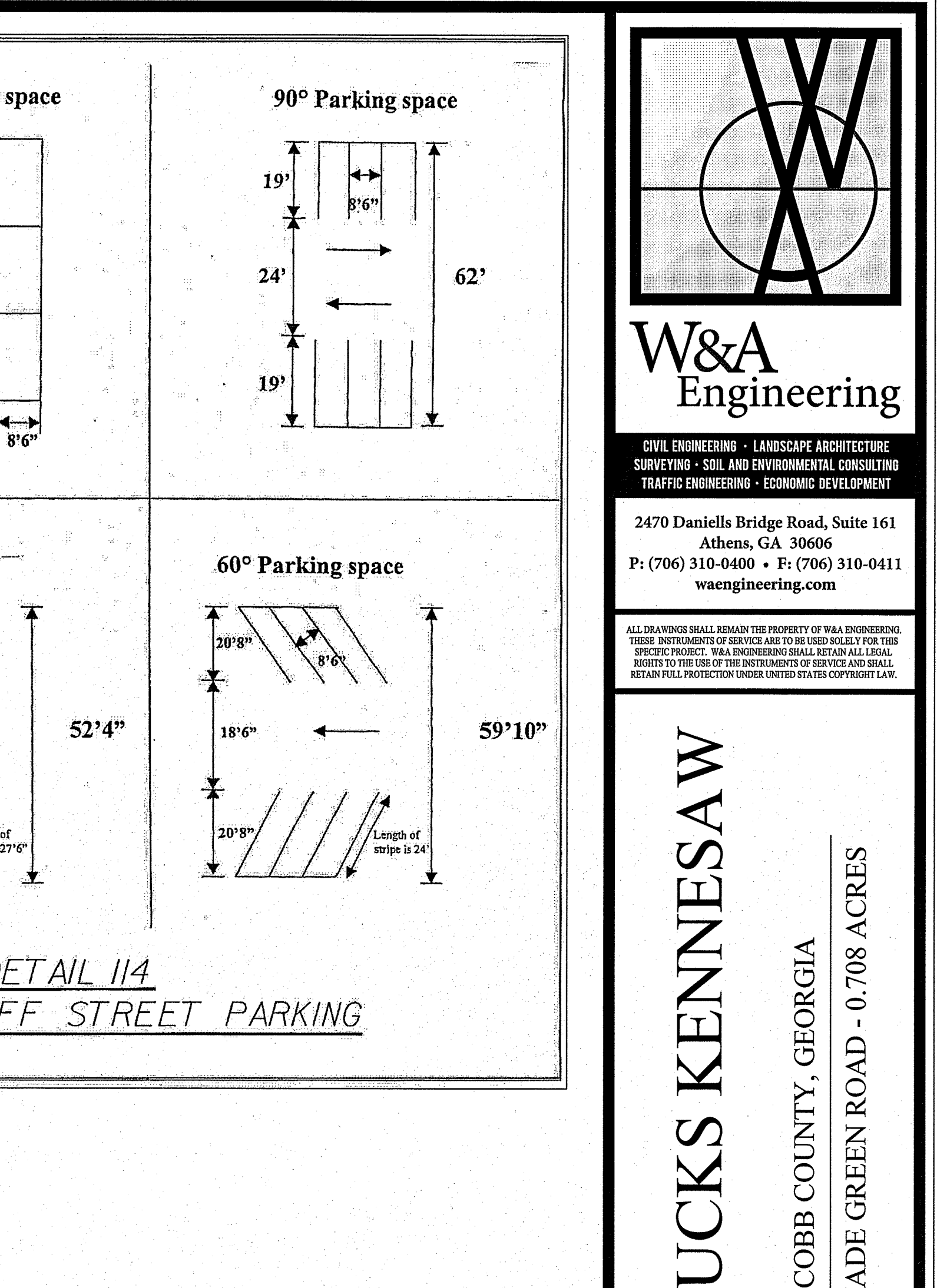
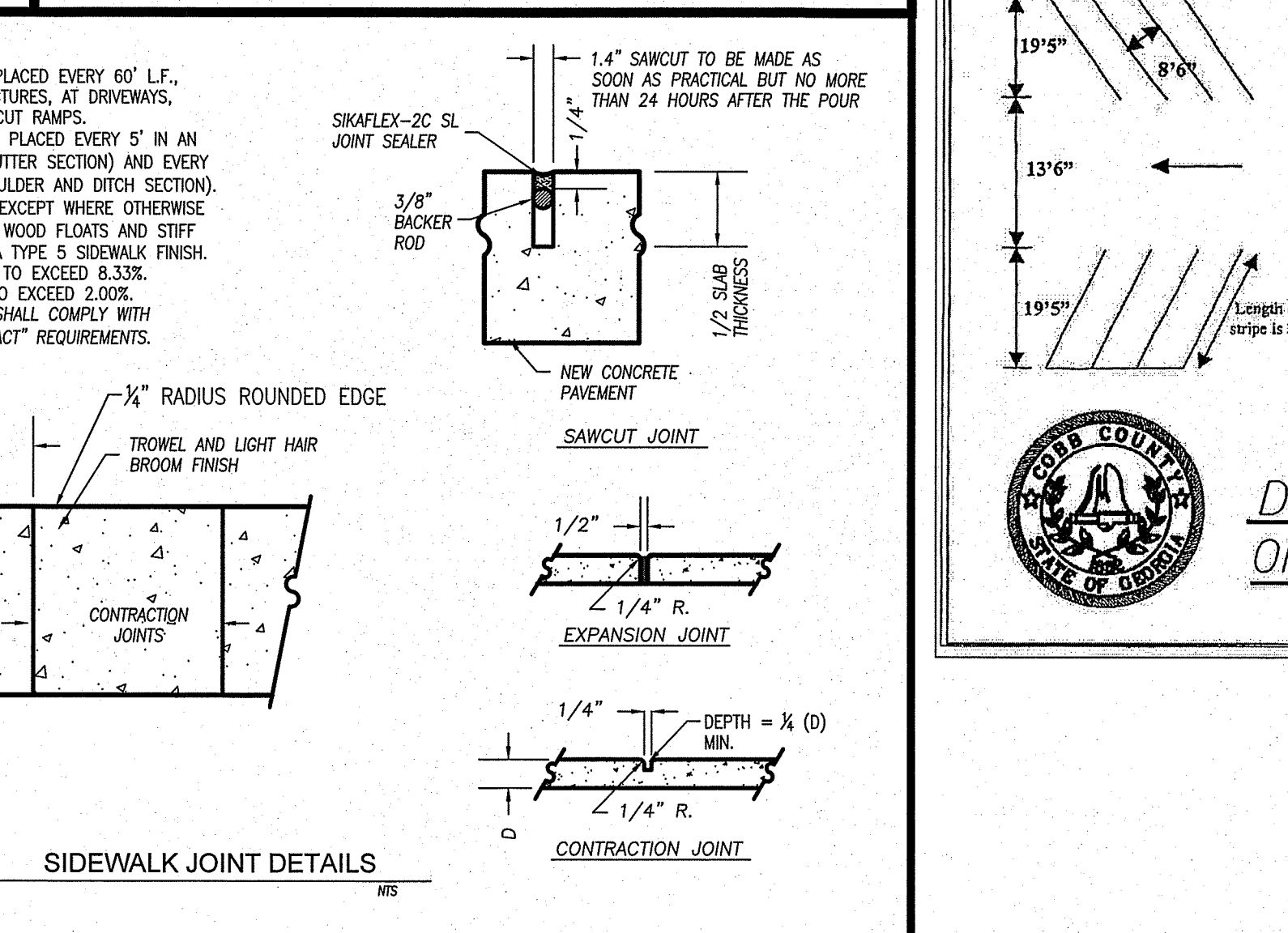
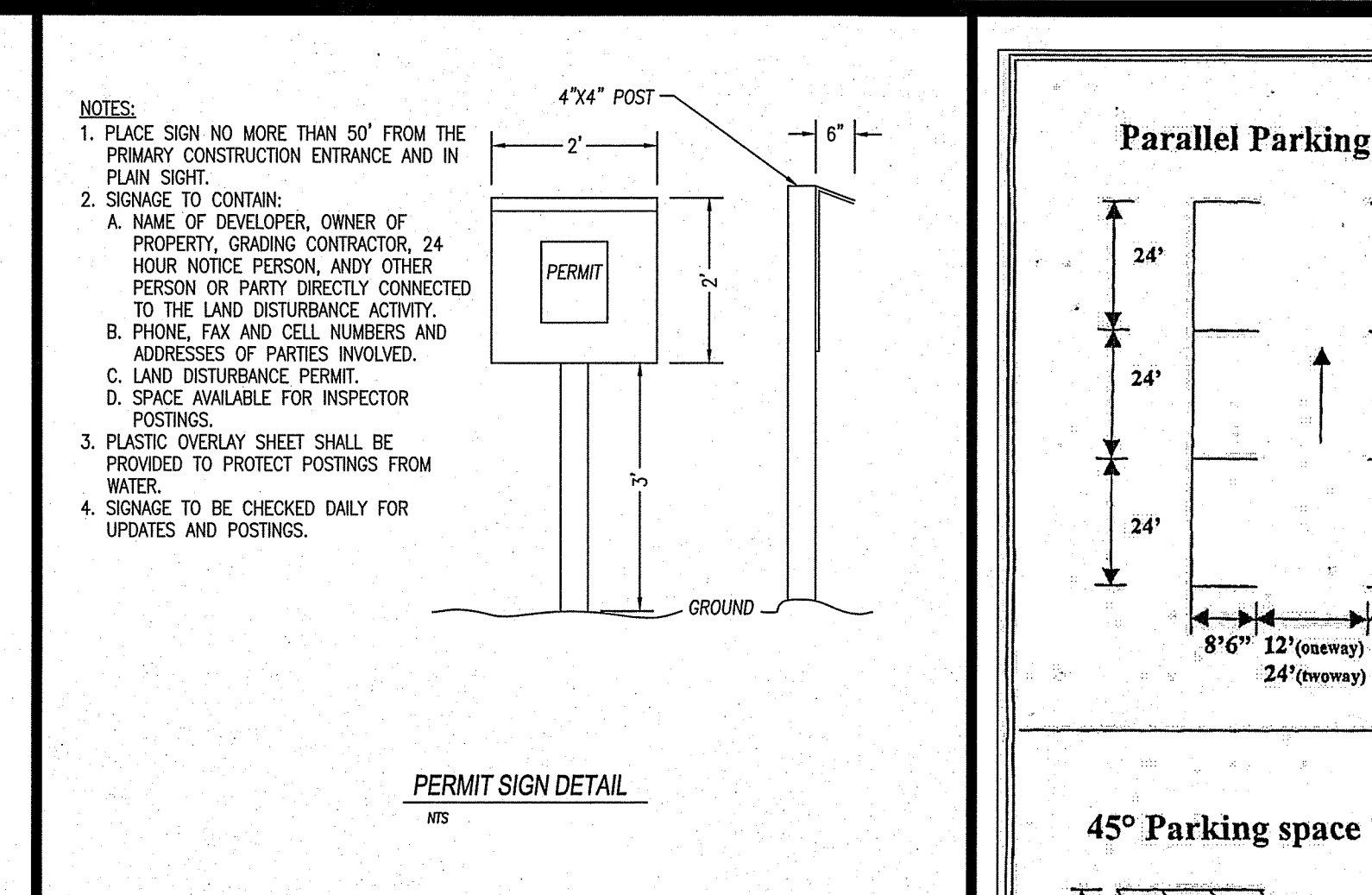
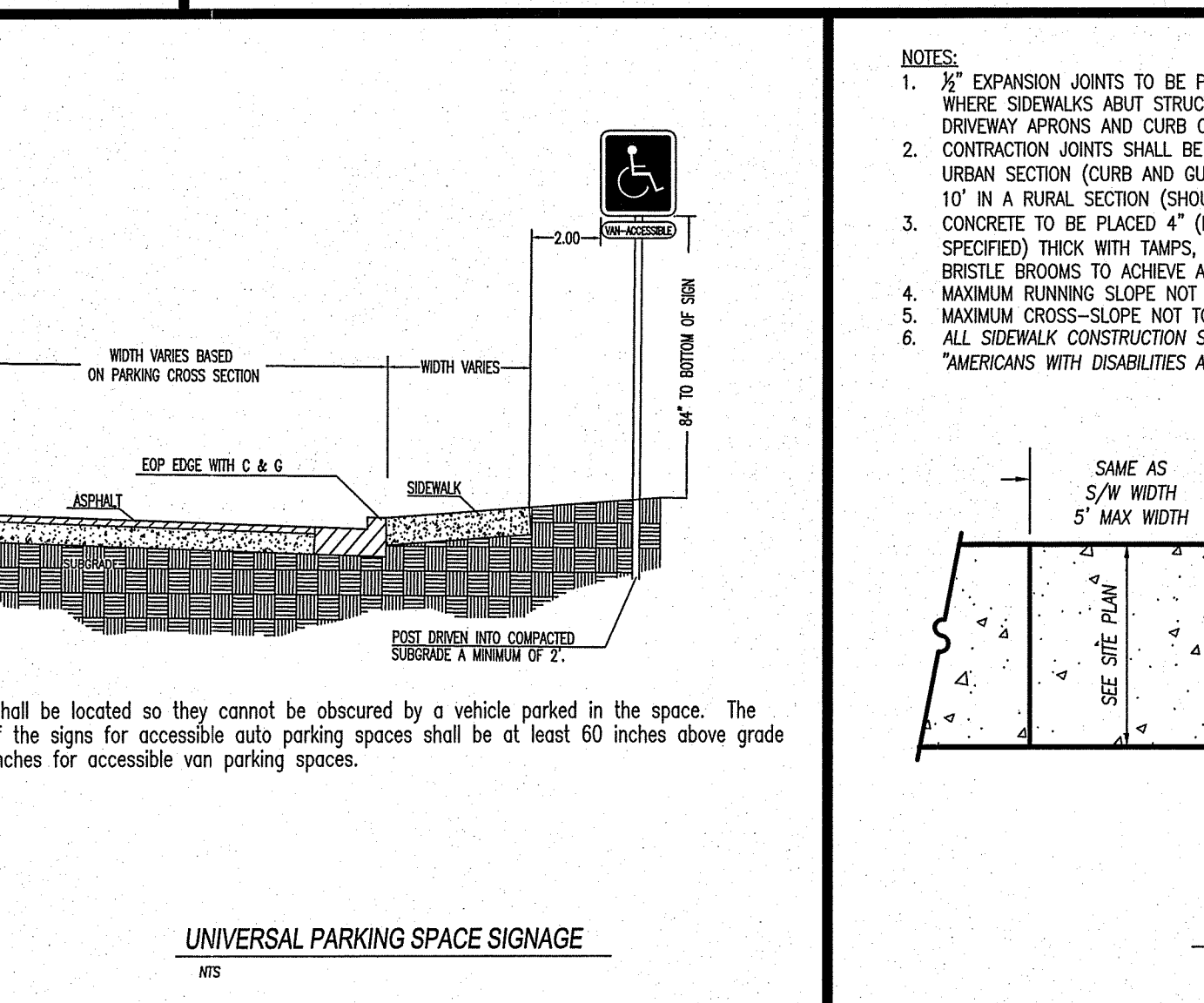
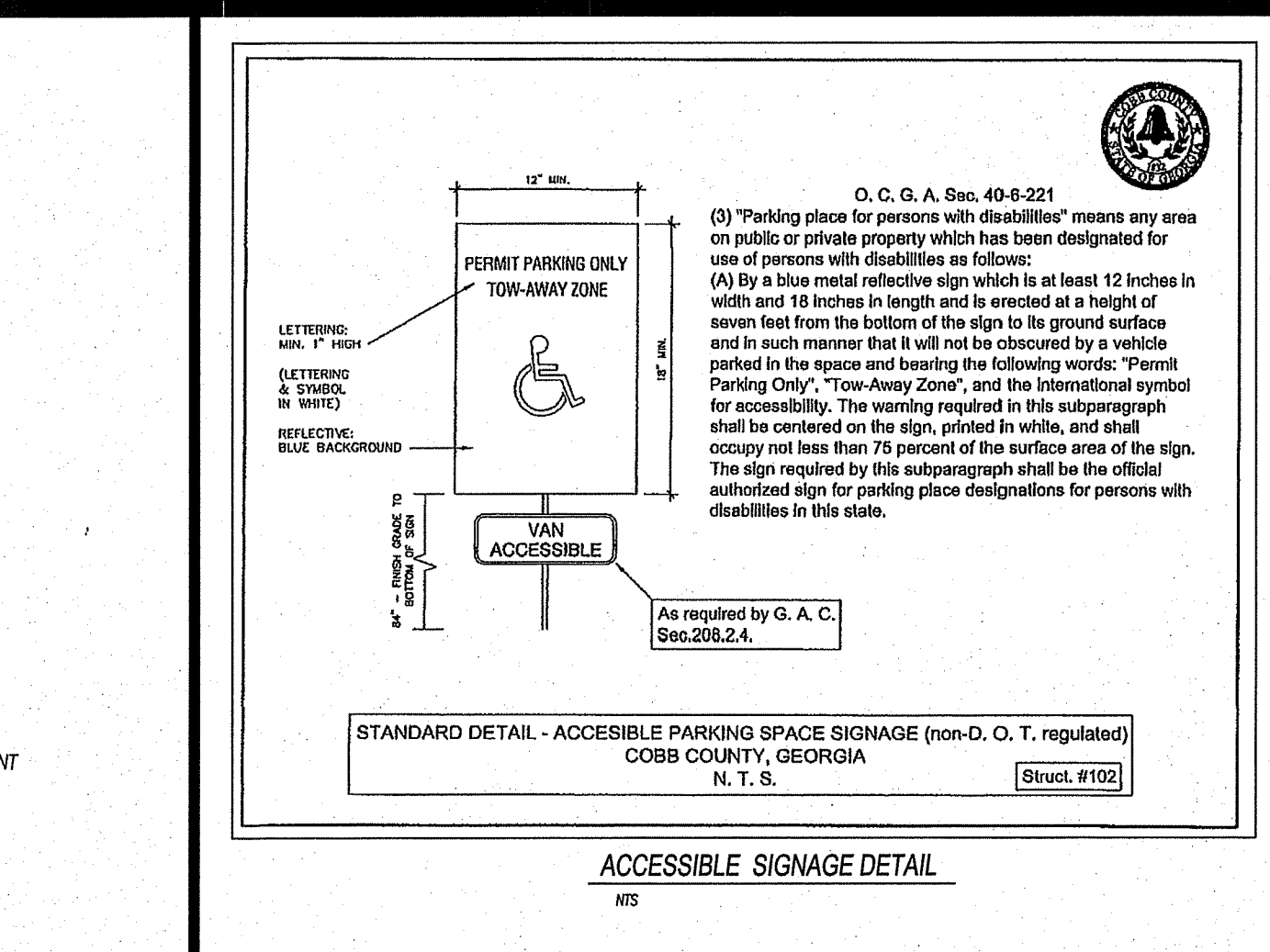
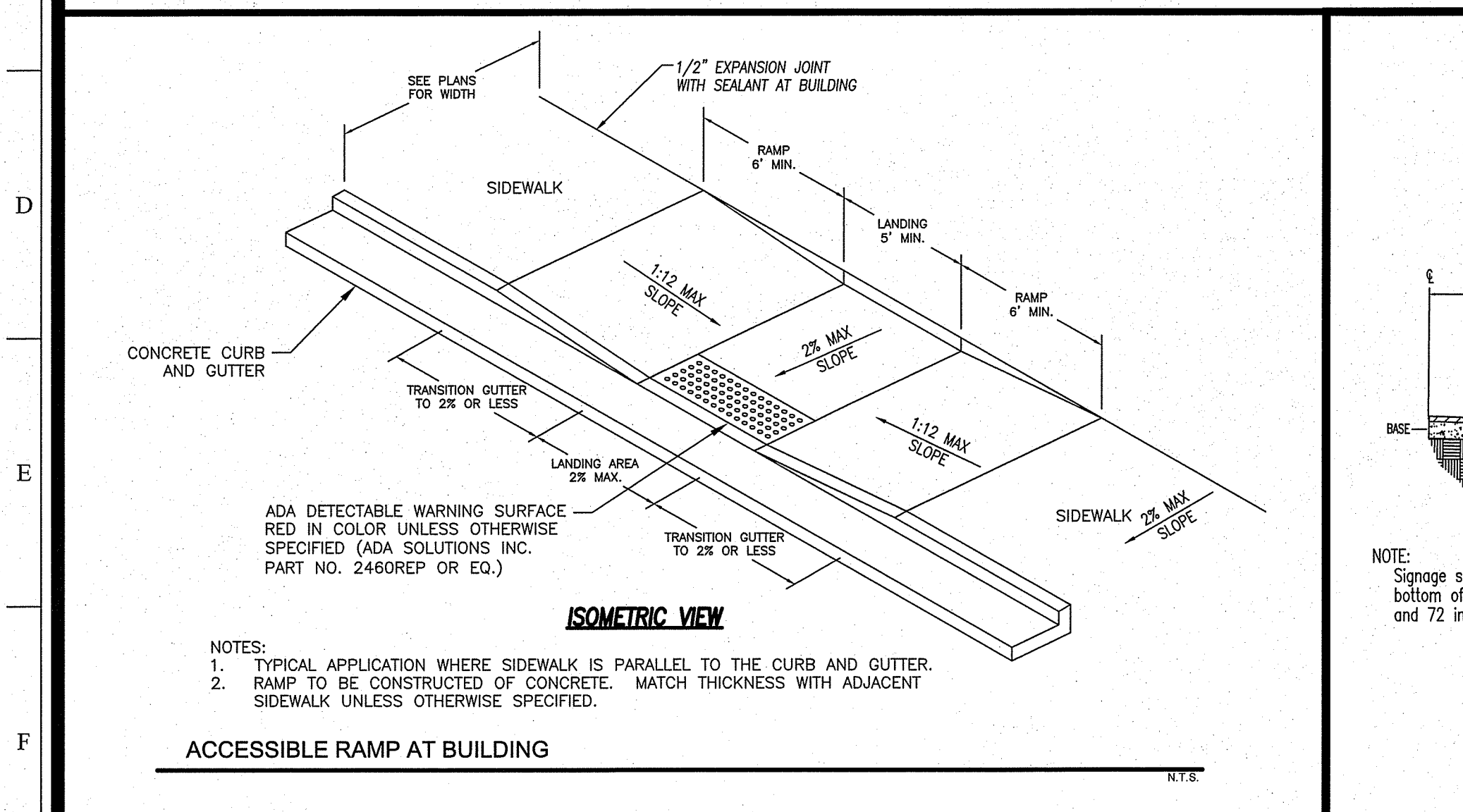
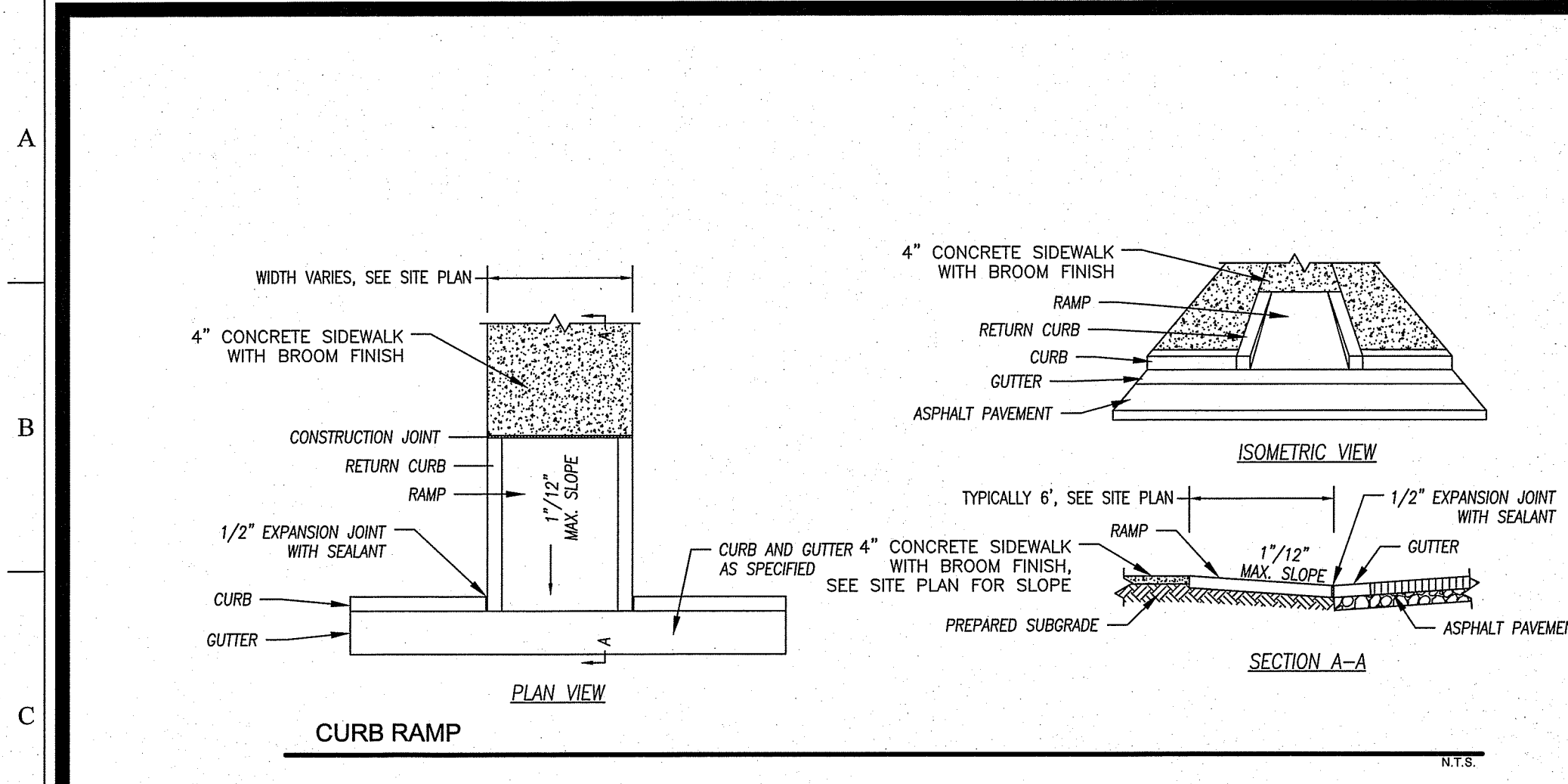
18365

UTILITY DETAILS

C502



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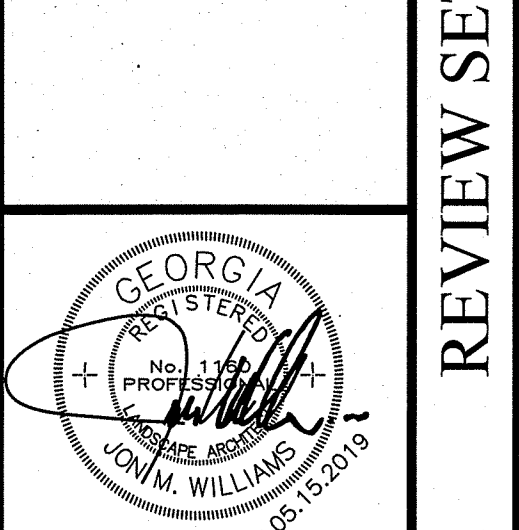
STARBUCKS KENNESAW
COBB COUNTY, GEORGIA
4383 WADE GREEN ROAD - 0.708 ACRES

DATE: 04.03.2019

REVISIONS

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05.08.19	REVISED PER COBB COUNTY COMMENTS

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811



18365

GENERAL DETAILS

C901

TREE MANAGEMENT NOTES

- THIS PROJECT IS CLASSIFIED AS A REDEVELOPMENT.
- PER SECTION 416.3.3 IN THE COBB COUNTY DEVELOPMENT STANDARDS: PURPOSE OF TREE PROTECTION DEVICES: TREE PROTECTION DEVICES ARE NECESSARY TO ELIMINATE ACTIVITIES DETRIMENTAL TO TREES INCLUDING BUT NOT LIMITED TO:
 - SOIL COMPACTION IN THE CRITICAL ROOT ZONE RESULTING FROM HEAVY EQUIPMENT, VEHICULAR OR EXCESSIVE PEDESTRIAN TRAFFIC, OR STORAGE OF EQUIPMENT OR MATERIALS;
 - ROOT DISTURBANCE DUE TO CUTS, FILLS OR TRENCHING;
 - WOUNDS TO EXPOSED ROOTS, TRUNKS OR LIMBS BY MECHANICAL EQUIPMENT;
 - OTHER ACTIVITIES SUCH AS CHEMICAL STORAGE, CEMENT TRUCK CLEANING, FIRE, ETC.

LOCATION AND TYPES OF TREE PROTECTION DEVICES

TREE PROTECTION DEVICES ARE TO BE INSTALLED AS SHOWN ON THE PLAN OR OTHERWISE COMPLETELY SURROUNDING THE CRITICAL ROOT ZONE OF ALL TREES TO BE PRESERVED.

THE INSTALLATION OF ALL TREE PROTECTION DEVICES WILL BE VERIFIED PRIOR TO THE ISSUANCE OF THE CONSTRUCTION PERMIT FOR CLEARING AND/OR GRADING, AND AGAIN, PRIOR TO THE APPROVAL OF THE FINAL PLAT FOR SUBDIVISIONS.

ONCE PROTECTED ZONES ARE ESTABLISHED AND APPROVED, ANY CHANGES ARE SUBJECT TO COMMUNITY DEVELOPMENT AGENCY REVIEW.

MATERIALS

TREE PROTECTION SHALL CONSIST OF CHAIN LINK, ORANGE LAMINATED PLASTIC, WOODEN POST AND RAIL FENCING OR OTHER EQUIVALENT RESTRAINING MATERIAL. IN ADDITION TO FENCING, WHERE TREE TRUNKS ARE IN JEOPARDY OF BEING DAMAGED BY EQUIPMENT, 2" X 4" INCH BOARDS MAY BE REQUESTED TO BE STRAPPED AROUND THE TRUNKS OF THE TREES.

SEQUENCE OF INSTALLATION AND REMOVAL

ALL TREE PROTECTION DEVICES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRUBBING OR GRADING, OR AT THE SAME TIME AS THE INSTALLATION OF EROSION AND SEDIMENTATION CONTROL DEVICES. TREE PROTECTION MUST REMAIN IN FUNCTIONING CONDITION THROUGHOUT ALL PHASES OF DEVELOPMENT AND CONSTRUCTION. TREE PROTECTION FENCES MUST BE INSTALLED IN ACCORDANCE WITH THE

APPROVED LAND DISTURBANCE PERMIT. FOR PROJECTS LESS THAN TWO (2) ACRES, COBB COUNTY STAFF WILL VERIFY APPROPRIATE TREE FENCE INSTALLATION. FOR PROJECTS GREATER THAN TWO (2) ACRES, A PROFESSIONAL DESIGNER MUST VERIFY THE TREE PROTECTION FENCES WERE INSTALLED AS SHOWN ON THE APPROVED PLANS OR IN LOCATIONS THAT PROVIDED BETTER TREE PRESERVATION POTENTIAL. THIS VERIFICATION MUST BE SUBMITTED TO THE COMMUNITY DEVELOPMENT AGENCY PRIOR TO THE APPROVAL OF THE FINAL PLAT FOR RESIDENTIAL SUBDIVISIONS, OR PRIOR TO THE ISSUANCE OF BUILDING PERMITS FOR COMMERCIAL PROJECTS.

OTHER SPECIFICATIONS

CLEARING - WHERE CLEARING HAS BEEN APPROVED, TREES SHALL BE REMOVED IN A MANNER THAT DOES NOT ADVERSELY IMPACT THE TREES TO BE PRESERVED. AVOID FELLING TREES INTO PROTECTED ZONES OR DISTURBING ROOTS INSIDE THE PROTECTED ZONES.

WHEN DIGGING NEAR TREES, THE CONTRACTOR SHALL PRUNE ALL EXPOSED ROOTS ONE (1) INCH IN DIAMETER AND LARGER ON THE SIDE OF THE TRENCH ADJACENT TO THE TREES. PRUNING SHALL CONSIST OF MAKING A CLEAN CUT FLUSH WITH THE SIDE OF THE TRENCH TO PROMOTE NEW ROOT GROWTH. PRUNED ROOTS SHALL BE PROTECTED FROM DRYING AND BACKFILLED AS SOON AS POSSIBLE.

PRUNING OF TREE LIMBS TO PROVIDE CLEARANCE FOR EQUIPMENT AND MATERIALS OR FOR ANY OTHER REASON SHALL BE DONE ACCORDING TO STANDARD ARBORICULTURAL PRACTICE (SEE ANSI A300-2001 STANDARDS FOR TREE CARE MAINTENANCE OPERATIONS PART 1 AND ANSI Z133.1 AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS REQUIREMENTS).

EROSION AND SEDIMENTATION CONTROL - ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IN A MANNER THAT WILL NOT RESULT IN THE ACCUMULATION OF SEDIMENT IN A PROTECTED ZONE.

SIGNAGE - ALL PROTECTED ZONES SHALL BE DESIGNATED AS SUCH WITH "TREE SAVE AREA" SIGNS POSTED VISIBLY ON ALL SIDES OF THE FENCED-IN AREA. THESE SIGNS ARE INTENDED TO INFORM SUBCONTRACTORS OF THE TREE PROTECTION PROCESS. SIGNS REQUESTING SUBCONTRACTOR COOPERATION AND COMPLIANCE WITH THE TREE

PROTECTION STANDARDS ARE RECOMMENDED FOR SITE ENTRANCES.

- PER SECTION 416.4.1 IN THE COBB COUNTY DEVELOPMENT STANDARDS: PLANTING SPECIFICATIONS: TREES SELECTED FOR PLANTING MUST BE FREE FROM INJURY, PESTS, DISEASE, NUTRITIONAL DISORDERS OR ROOT DEFECTS, AND MUST BE OF GOOD VIBOR IN ORDER TO ASSURE A REASONABLE EXPECTATION OF SURVIVABILITY.

STANDARDS FOR TRANSPLANTING SHALL BE IN KEEPING WITH THOSE ESTABLISHED IN THE INTERNATIONAL SOCIETY OF ARBORICULTURE PUBLICATION, TREE AND SHRUB TRANSPLANTING MANUAL OR SIMILAR PUBLICATION. REFERENCE THE AMERICAN ASSOCIATION OF NURSEMEN PUBLICATION AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60, 1973) FOR PLANT MATERIAL QUALITY SPECIFICATIONS. REFERENCE THE MANUAL OF WOOD LANDSCAPE PLANTS (MICHAEL DIRR, 1983, CASTLE BOOKS) OR SIMILAR PUBLICATION FOR INFORMATION ON TREE SPECIES SITE REQUIREMENTS.

INSTALLED TREES MUST BE ALLOWED TO GROW TO THEIR NATURAL SIZE AND SHAPE AND NOT BE PRUNED IN CONFLICT WITH ANSI A300 STANDARDS (NO TOPPING, LIMBING UP, LION TAILING, ETC.).

- PER SECTION 416.4.3 IN THE COBB COUNTY DEVELOPMENT STANDARDS: PARKING LOTS AND STREET LANS: ALL ROOT ZONES MUST BE A MINIMUM OF EIGHT (8) FEET IN WIDTH MEASURED FROM BACK-OF-CURB WHERE CURBING IS INSTALLED OR EDGE OF PAVEMENT OTHERWISE.

THE ROOT ZONE FOR OVERSTORY TREES MUST BE A MINIMUM OF 145 SQUARE FEET. IF THAT AREA IS SHARED WITH OTHER TREES, ADD 80 SQUARE FEET FOR EACH ADDITIONAL TREE.

THE ROOT ZONE FOR UNDERSTORY TREES MUST BE A MINIMUM OF 100 SQUARE FEET. IF THAT AREA IS SHARED WITH OTHER TREES, ADD 40 SQUARE FEET FOR EACH ADDITIONAL TREE.

PARKING LOT ISLANDS, PENINSULAS AND MEDIANS MUST HAVE CLEAN, CULTIVATED SOIL TO A TOTAL DEPTH OF TWO AND ONE-HALF (2½) FEET. NATIVE SUBSOIL IS ACCEPTABLE IN PARKING LOT ISLANDS, PENINSULAS AND MEDIANS IF THE ENTIRE AREA IS AMENDED WITH APPROPRIATE SOIL

IMPROVEMENTS AND THOROUGHLY TILLED. OTHERWISE, LOAMY TOPSOIL IS REQUIRED.

PARKING LOT ISLANDS AND MEDIANS MUST BE COVERED WITH FOUR (4) INCHES OF ORGANIC MULCH MATERIAL REPLACED AS NEEDED, TO DISCOURAGE SOIL COMPACTION FROM PEDESTRIAN TRAFFIC. THESE AREAS MAY BE PLANTED WITH LOW EVERGREEN SHRUBS TO REDUCE ROOT ZONE COMPETITION. GRASS IS TYPICALLY NOT PERMITTED IN THESE ISLANDS AND MEDIANS. VARIANCES TO THIS REQUIREMENT (AS IT RELATES TO THE PROHIBITION OF GRASS) SHALL BE REVIEWED ON A CASE BY CASE BASIS BY THE COUNTY ARBORIST OR COUNTY LANDSCAPE ARCHITECT.

LIGHT POLES ARE PROHIBITED IN PARKING LOT ISLANDS, PENINSULAS AND MEDIANS UNLESS A LIGHTING PLAN IS SUBMITTED FOR REVIEW AND APPROVAL BY THE COUNTY ARBORIST OR COUNTY LANDSCAPE ARCHITECT.

NO FASTIGATE (NARROW CROWNED) VARIETIES OF TREES ARE PERMISSIBLE IN PARKING LOTS.

TREES PLANTED TO MEET PARKING LOT AND STREET YARD REQUIREMENTS MUST BE A MINIMUM OF THREE (3) INCHES IN CALIPER.

THE USE OF AT-GRADE PLANTING AREAS IN PARKING LOTS TO PROMOTE STORMWATER RUNOFF TREATMENT AND TO SUPPLEMENT IRRIGATION NEEDS IS ENCOURAGED; PROVIDED THAT THE TREES PLANTED THERE WILL NOT BE ADVERSELY IMPACTED AND THAT THE SYSTEM IS DESIGNED BY A LICENSED, PROFESSIONAL CIVIL ENGINEER.

WHERE STREET YARD TREES WILL BE PLANTED WITHIN 16 FEET OF THE EDGE-OF-PAVEMENT OF A PUBLIC STREET WITH A DESIGN SPEED OF 45 MPH OR HIGHER, OR IN AREAS BENEATH OVERHEAD UTILITY LINES, THE USE OF AN UNDERSTORY SPECIES IS REQUIRED.

- PER SECTION 416.4.4 IN THE COBB COUNTY DEVELOPMENT STANDARDS: IRRIGATION

NEWLY PLANTED TREES AND EXISTING TREES SUBJECTED TO CONSTRUCTION IMPACTS TYPICALLY NEED SUPPLEMENTAL WATERING WHEN RAINFALL IS INADEQUATE. COMMERCIAL PROJECT APPLICANTS SHOULD BE PREPARED TO DISCUSS HOW TREES ARE TO BE WATERED DURING THEIR ESTABLISHMENT OR TRANSITION PERIOD, AND TO POSSIBLY NOTE ON THE

PLAN THE PROPOSED METHOD OF IRRIGATION.

- PER SECTION 416.7.1 IN THE COBB COUNTY DEVELOPMENT STANDARDS: FULL LAND DISTURBANCE PERMITS: THE FOLLOWING INFORMATION MUST BE SHOWN ON THE PLAN:
 - ALL ITEMS FOUND ON THE EROSION AND SEDIMENTATION CONTROL SUBMITTAL CHECKLIST PERTINENT TO NORMAL PLAN REVIEW
 - TOTAL SITE AREA AND SITE AREA USED TO DETERMINE THE SITE DENSITY FACTOR
 - THE LOCATIONS OF EXISTING AND PROPOSED IMPROVEMENTS, INCLUDING STRUCTURES, PAVING, DRIVEWAYS, CUT AND FILL AREAS, DETENTION AREAS, ETC.
 - CALCULATIONS SHOWING COMPLIANCE WITH THE REQUIRED SITE DENSITY FACTOR USING EXISTING TREES, REPLACEMENT TREES, AND/OR CONTRIBUTIONS TO THE COBB COUNTY TREE REPLACEMENT FUND
 - A NARRATIVE TO DOCUMENT ANY ALTERNATIVE COMPLIANCE ARRANGEMENTS APPROVED BY THE COUNTY ARBORIST
 - PARKING LOT ANALYSIS SHOWING THE NUMBER OF REQUIRED AND ACTUAL PARKING SPACES, THE SQUARE FOOTAGE OF ALL PARKING BAYS, AND THE NUMBER OF REQUIRED PARKING LOT TREES
 - STREET YARD ANALYSIS SHOWING THE LINEAR FEET OF STREET YARD AND THE NUMBER OF REQUIRED STREET YARD TREES
 - LOCATIONS OF ALL SPECIMEN TREES SHOWING EACH TREE'S CRITICAL ROOT ZONE AND AN INDICATION WHETHER THE TREE IS TO BE REMOVED OR PRESERVED
 - LOCATIONS OF ALL TREE PROTECTION DEVICES, MATERIALS TO BE USED IN EACH AREA, AND DETAILS
 - LOCATION OF ANY STATE WATERS WITH REQUIRED BUFFERS
 - LOCATION OF ANY BUFFERS REQUIRED BY THE ZONING ORDINANCE OR BY A RE-ZONING STIPULATION AND A PLANTING PLAN FOR THOSE BUFFERS
 - LOCATION OF AND DETAILS FOR ANY PERMANENT TREE PROTECTION DEVICES SUCH AS TREE WELLS, AERATION SYSTEMS, RETAINING WALLS, ETC.
 - LOCATIONS OF ALL EXISTING AND PROPOSED UTILITY LINES OR EASEMENTS
 - A PLANT SCHEDULE WITH COLUMNS FOR THE:
 - (1) COMMON NAME, (2) BOTANICAL NAME, (3) QUANTITY, (4) SIZE, (5) INDIVIDUAL TREE UNIT VALUE, (6) SPECIES UNIT VALUE, AND (7) PERCENT OF THE SPECIES UNIT VALUE TO THE TOTAL UNIT VALUE
 - THE LOCATIONS OF ALL TREES TO BE PLANTED ON THE SITE TO MEET DENSITY REQUIREMENTS

COBB COUNTY NOTES

TREE PROTECTION DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY CLEARING, GRUBBING OR GRADING. FOR PROJECTS OVER TWO (2) ACRES, A PROFESSIONAL DESIGNER MUST VERIFY THAT THE TREE PROTECTION FENCES WERE INSTALLED AS SHOWN ON THE APPROVED PLANS OR IN LOCATIONS THAT PROVIDED BETTER TREE PRESERVATION POTENTIAL. SUBMIT THIS VERIFICATION PRIOR TO THE APPROVAL OF THE FINAL PLAT FOR RESIDENTIAL SUBDIVISIONS OR PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT FOR COMMERCIAL PROJECTS.

A PRE-CONSTRUCTION CONFERENCE IS REQUIRED PRIOR TO THE ISSUANCE OF THE ON-SITE CONSTRUCTION PERMIT. CALL THE SITE INSPECTIONS SECTION AT (770) 528-2142 TO ARRANGE A MEETING AT THE SITE.

TREE PROTECTION AND REPLACEMENT SHALL BE ENFORCED ACCORDING TO COBB COUNTY STANDARDS. ANY FIELD ADJUSTMENTS TO TREE PROTECTION DEVICE TYPES OR LOCATIONS OR SUBSTITUTIONS OF PLANT MATERIALS SHOWN ON THE APPROVED PLANS ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE COBB COUNTY ARBORIST OR COUNTY LANDSCAPE ARCHITECT.

BUFFERS MUST BE PLANTED TO COBB COUNTY STANDARDS WHERE SPARSELY VEGETATED OR WHERE DISTURBED FOR APPROVED UTILITY OR ACCESS CROSSINGS.

PROVIDE 20' MINIMUM SPACING BETWEEN THE TRUNKS OF ALL DECIDUOUS SHADE TREES. PROVIDE GREATER SPACING WHERE POSSIBLE.

PROVIDE 20' MINIMUM SPACING BETWEEN THE TRUNKS OF ALL DECIDUOUS SHADE TREES AND ANY EXISTING OR PROPOSED LIGHT POLES. PROVIDE GREATER SPACING WHERE POSSIBLE.

PROVIDE 15' MINIMUM CLEARANCE BETWEEN THE TRUNKS OF ALL DECIDUOUS SHADE TREES AND ANY EXISTING OR PROPOSED BUILDINGS. PROVIDE GREATER SPACING WHERE POSSIBLE.

DO NOT INSTALL OVER-STORY TREES IN LOCATIONS WHERE FUTURE CONFLICTS WITH EXISTING OVERHEAD UTILITY LINES WILL BE INEVITABLE. CONTACT THE COBB COUNTY ARBORIST OR LANDSCAPE ARCHITECT IF ANY POTENTIAL CONFLICTS ARE IDENTIFIED DURING THE INSTALLATION PROCESS.

THE SITE CONTRACTOR SHALL COORDINATE SERVICE ROUTING OF ALL GAS, TELEPHONE, AND ELECTRICAL LINES WITH THE APPROPRIATE UTILITY COMPANY. ALL CONSTRUCTION MUST COMPLY WITH EACH UTILITIES STANDARDS AND

SPECIFICATIONS AND NOT INTERFERE WITH TREE PLANTING SITES OR EXISTING TREES TO BE PRESERVED.

WHEN DIGGING NEAR TREES, THE CONTRACTOR SHALL PRUNE ALL EXPOSED ROOTS ONE (1) INCH IN DIAMETER AND LARGER ON THE SIDE OF THE TRENCH ADJACENT TO THE TREES. PRUNING SHALL CONSIST OF MAKING A CLEAN CUT FLUSH WITH THE SIDE OF THE TRENCH TO PROMOTE NEW ROOT GROWTH.

PRUNING OF TREE LIMBS TO PROVIDE CLEARANCE FOR EQUIPMENT AND MATERIALS SHALL BE DONE ACCORDING TO STANDARD ARBORICULTURAL PRACTICE (SEE ANSI A300-1995).

PROTECT THE TRUNKS OF ANY TREES BEING PRESERVED WITHIN THE TEMPORARY OR PERMANENT UTILITY EASEMENTS WITH STRAPPED-ON PLANKING OR SIMILAR PROTECTIVE DEVICE.

THE DENSITY REQUIREMENTS SHOWN ON THE TREE PRESERVATION AND/OR REPLACEMENT PLANS MUST BE VERIFIED PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY OR ACCEPTANCE OF THE FINAL PLAT. CALL THE DEVELOPMENT INSPECTIONS DIVISION AT (770) 528-2124 FOR AN INSPECTION. A PERFORMANCE BOND, LETTER-OF-CREDIT OR ESCROW ACCOUNT WILL BE ACCEPTED IF PLANT MATERIALS MUST BE INSTALLED AT A LATER DATE.

COMMERCIAL PROJECTS: PARKING LOT ISLANDS, PENINSULAS AND MEDIANS MUST HAVE CLEAN, CULTIVATED SOIL TO A TOTAL DEPTH OF TWO AND ONE-HALF (2½) FEET. NATIVE SUBSOIL IS ACCEPTABLE IN THESE AREAS IF THE SOIL IS AMENDED WITH APPROPRIATE SOIL AMENDMENTS AND THOROUGHLY TILLED OTHERWISE, LOAMY TOPSOIL IS REQUIRED.

PARKING LOT ISLANDS AND MEDIANS MUST BE COVERED WITH FOUR (4) INCHES OF ORGANIC MULCH MATERIAL (REPLACED PERIODICALLY). TO DISCOURAGE SOIL COMPACTION FROM PEDESTRIAN TRAFFIC, THESE AREAS MAY BE PLANTED WITH LOW EVERGREEN SHRUBS, BUT NOT WITH GRASS.

PROVIDE 15' MINIMUM CLEARANCE BETWEEN TREES AND DUMPSTER ENCLOSURES SO AS TO PREVENT DAMAGE FROM GARBAGE TRUCK LIFT MECHANISM.

PARKING LOT ISLANDS, PENINSULAS AND MEDIANS MUST HAVE A MINIMUM WIDTH OF EIGHT FEET FROM BACK OF CURB. PENINSULAS MUST HAVE A MINIMUM DEPTH OF 18.5 FEET FROM BACK OF CURB.

POSITION THE PARKING LOT TREES APPROXIMATELY FOUR FEET FROM ALL ADJACENT CURB LINES TO ACHIEVE MAXIMUM SHADING EFFECT.

NO PERMANENT SIGN(S), FLAG POLE(S), PROPOSED FIRE HYDRANTS OR POWER TRANSFORMERS WILL BE PLACED IN CONFLICT WITH AN ORDINANCE CODED OR APPROVED TREE PLANTING LOCATION.

FISCAL SURETY FOR MAINTENANCE OF PLANTED TREES MUST BE IN PLACE PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY. A MAINTENANCE INSPECTION WILL BE PERFORMED PRIOR TO THE SCHEDULED RELEASE DATE OF THE POSTED FISCAL SURETY TO DETERMINE THE HEALTH OF THE TREES PLANTED TO MEET THE REQUIREMENTS OF THIS ORDINANCE AS WELL AS ANY BUFFER PLANTINGS.

PER SECTION 416.8 IN THE COBB COUNTY DEVELOPMENT STANDARDS: INSPECTIONS

416.8.1 PRE-CONSTRUCTION CONFERENCE: PRIOR TO THE ISSUANCE OF A CONSTRUCTION PERMIT, AN INSPECTION WILL BE REQUIRED TO VERIFY CORRECT INSTALLATION OF TREE PROTECTION DEVICES AND TO DISCUSS ANY ISSUES WITH THE CONTRACTOR CONCERNING TREE PLANTING.

416.8.2 FINAL INSPECTION: PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY OR FINAL PLAT APPROVAL, AN INSPECTION WILL BE PERFORMED TO ASSURE COMPLIANCE WITH THE TREE PRESERVATION AND REPLACEMENT ANY REQUIRED IRRIGATION MUST BE OPERATIONAL. AT THIS TIME, HOSE BIBS AND OTHER WATERING DEVICES SPECIFIED ON THE PLANS WILL BE VERIFIED, AND BUFFER PLANTINGS WILL BE INSPECTED.

416.8.3 MAINTENANCE INSPECTION: PRIOR TO THE SCHEDULED RELEASE DATE OF THE FISCAL SURETY, AN INSPECTION WILL BE PERFORMED BY THE COUNTY ARBORIST OR LANDSCAPE ARCHITECT TO DETERMINE THE HEALTH OF ALL PLANTED TREES.

ANY PLANTED MATERIALS THAT ARE DEAD, MISSING OR IN A STATE OF IRREVERSIBLE DECLINE AT THE TIME OF THAT INSPECTION MUST BE REPLACED BY THE RESPONSIBLE PARTY NAMED ON THE SURETY INSTRUMENT.

THE COMMUNITY DEVELOPMENT AGENCY SHALL PROVIDE THE RESPONSIBLE PARTY WITH A WRITTEN EVALUATION OF WHAT TREES NEED TO BE REPLACED AND THE TIME FRAME WITHIN WHICH REPLACEMENT IS TO OCCUR.

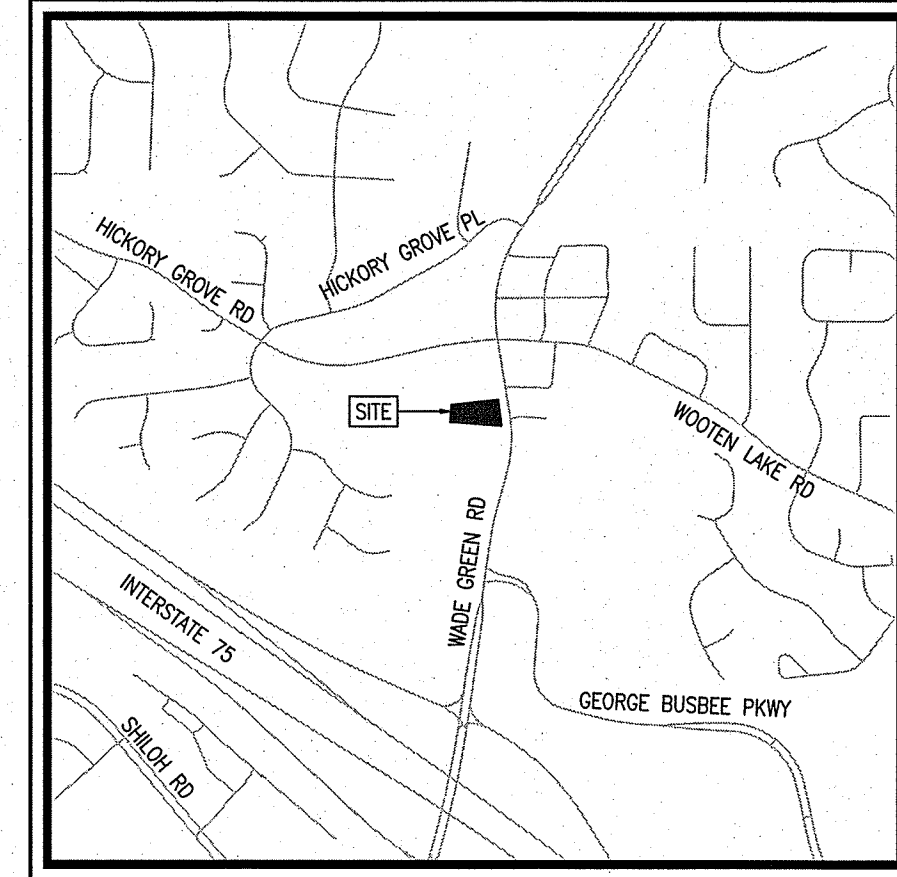
ANY TREES IN A REVERSIBLE STATE OF DECLINE WILL BE NOTED AND SUBJECT TO MONITORING AT LATER DATES. IF SUCH TREES DIE AFTER THE RELEASE OF THE SURETY INSTRUMENT, THEY WILL BECOME THE RESPONSIBILITY OF THE CURRENT OWNER TO REPLACE.

416.8.4 FISCAL SURETY: FISCAL SURETY SHALL BE REQUIRED AS SPECIFIED IN SECTION 50-224 OF THE TREE PRESERVATION AND REPLACEMENT ORDINANCE. THE AMOUNT OF THE SURETY SHALL BE 110 PERCENT OF THE COST OF ALL REQUIRED PLANT MATERIALS AND THE COST OF THE INSTALLATION AND GUARANTEE OF THOSE MATERIALS. THE SURETY MAY BE IN THE FORM OF AN ESCROW AGREEMENT, LETTER OF CREDIT OR MAINTENANCE BOND. THE SURETY SHALL BE PREPARED ON FORMS PROVIDED BY THE COMMUNITY DEVELOPMENT AGENCY.

THE EXPIRATION DATE OF THE SURETY INSTRUMENT SHALL BE DETERMINED AS 30 MONTHS FROM THE DATE OF THE FINAL LANDSCAPE INSPECTION. FOR ALL PLANT MATERIALS THAT WILL BE IRRIGATED BY AN AUTOMATED IRRIGATION SYSTEM, THE SURETY EXPIRATION CAN BE REDUCED TO 18 MONTHS.

IF THE ORIGINAL DEVELOPER SELLS, TRANSFERS, ASSIGNS OR CONVEYS IN ANY MANNER ALL OR A PORTION OF THE PROPERTY PRIOR TO THE EXPIRATION DATE OF THE SURETY INSTRUMENT, THE ORIGINAL DEVELOPER SHALL MAINTAIN THE SURETY INSTRUMENT UNTIL THE EXPIRATION DATE. HOWEVER, IF AN ALTERNATIVE SURETY INSTRUMENT SATISFACTORY TO THE COMMUNITY DEVELOPMENT AGENCY IS PROVIDED BY THE SUBSEQUENT OWNER OF THE PROPERTY, THE ORIGINAL DEVELOPER MAY BE PARTIALLY OR TOTALLY RELEASED FROM THE DEVELOPER'S OBLIGATION UNDER THE ORIGINAL SURETY INSTRUMENT UPON RECEIPT OF WRITTEN NOTIFICATION FROM THE COMMUNITY DEVELOPMENT AGENCY ACCEPTING THE ALTERNATIVE SURETY INSTRUMENT. THE ALTERNATIVE SURETY INSTRUMENT MUST SATISFY ALL REQUIREMENTS OF THE TREE PRESERVATION ORDINANCE AND STANDARDS AND SPECIFICATIONS.

ALL OR PART OF THE SURETY MAY BE CALLED IF THE CONDITIONS OF THE COUNTY ARBORIST'S OR LANDSCAPE ARCHITECT'S MAINTENANCE INSPECTION LETTER ARE NOT MET.



VICINITY MAP

SCALE: 1" = 1000'

SCALE 1" = 20'

TREE CANOPY CALCULATIONS:

THIS IS A REDEVELOPMENT PROJECT.

STREET YARD TREES: REQUIRED: 1 TREE PER 35' FRONTAGE PER SECTION 416.2.4 WAIDE GREEN ROAD: 141.86 LF. FRONTAGE = 4.05 REQUIRED
 -> 1 EXISTING + 1 PROPOSED

A SANITARY SEWER EASEMENT AND EXISTING SIGNS AND POWER POLES PREVENT THE PLANTATION OF ADDITIONAL STREET YARD TREES.

PARKING LOT TREES:

PARKING BAY AREA: 4162 SF.

REQUIRED: 1 TREE PER 1,140 SF OF PARKING BAY AREA = 3.65 REQUIRED
 -> 2 PROPOSED AND 8 EXISTING TREES TO REMAIN = 10 TREES

SHRUBS CALCULATIONS:

3 GALLON EVERGREEN SHRUBS WITH A MATURE HEIGHT OF 4'-10" MUST BE INSTALLED IN A STAGGERED DOUBLE ROW ARRANGEMENT AT A RATE OF 18 PER 35' LINEAR FEET OF PUBLIC ROAD FRONTAGE WHERE A VEHICULAR USE AREA IS ADJACENT TO PUBLIC ROAD FRONTAGE.
 141.86' OF STREET FRONTAGE / 35' x 18 = 73 SHRUBS REQUIRED
 -> 73 SHRUBS PROVIDED

COBB COUNTY NOTES:

THE COBB COUNTY ARBORIST OR LANDSCAPE ARCHITECT MUST APPROVE THE SITE LIGHTING PLAN. LIGHT POLES ARE NOT PERMITTED IN PARKING PENINSULAS, ISLANDS AND MEDIANS WITHOUT THE PRIOR APPROVAL OF THE COUNTY ARBORIST. 20' MINIMUM SPACING IS REQUIRED BETWEEN THE TRUNK OF ANY PROPOSED OVER-STORY HARDWOOD TREE (OR EXISTING TREE COUNTED FOR TREE ORDINANCE CREDIT) AND ANY EXISTING OR PROPOSED LIGHT POLE. IF THE SERVICE PROVIDER (ELECTRIC COMPANY) PRODUCES A LIGHTING PLAN, IT MUST ADHERE TO THE LIGHTING PLAN SHOWN IN THE CIVIL ENGINEERING DRAWINGS APPROVED BY COBB COUNTY FOR THE LAND DISTURBANCE PERMIT. IF A LIGHTING PLAN IS NOT PART OF THE CIVIL DRAWINGS, THE LIGHTING PLAN DESIGNER MUST SUBMIT A PLAN TO THE ARBORIST/LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. IF SITE LIGHTING IS INSTALLED WITHOUT AN APPROVED PLAN, THE CERTIFICATE OF OCCUPANCY WILL BE WITHHELD UNTIL ALL CONFLICTING POWER POLES ARE MOVED. CALL 770-528-2147.

PROPOSED SHRUBS					
QTY	BOTANICAL NAME	COMMON NAME	MINIMUM CALIPER SIZE	MINIMUM HEIGHT	NOTES
11	RAPHROLEPIS INDICA	INDIAN HAWTHORNE	3 GAL	18"	DENSE, FULL
73	ILEX VOMITORIA "NANA"	DWARF YALPOON HOLLY	3 GAL	30"	DENSE, FULL

PLANT LEGEND

SUGAR MAPLE (1.5" MIN. CALIPER) (3 PROPOSED TREES TOTAL)

COBB COUNTY NOTES:

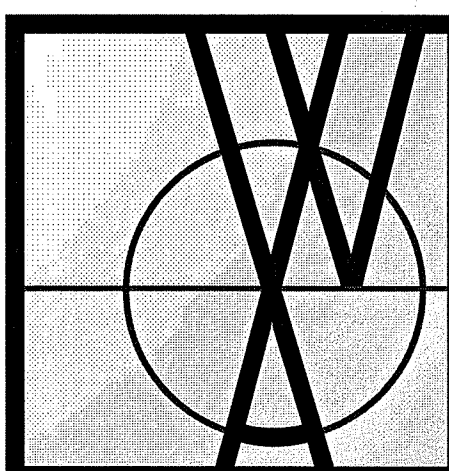
A LANDSCAPE CONFERENCE IS REQUIRED FOR THIS PROJECT PRIOR TO ANY FINISH LANDSCAPING. CALL THE COBB COUNTY ARBORIST AT (770) 528-2124 OR LANDSCAPE ARCHITECT AT (770) 528-2149. THERE ARE CRITICAL FACTORS ON THE LANDSCAPE PLAN THAT AFFECT BOTH THE GENERAL CONTRACTOR AND THE LANDSCAPE CONTRACTOR: PLANTING AREA DIMENSIONS, PLANTING METHODS AND AS WELL AS PLANT MATERIALS MUST BE IN ACCORDANCE WITH THE APPROVED PLAN, OR THE LANDSCAPE INSPECTOR MAY DELAY THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.

NO PERMANENT SIGN(S), FLAG POLE(S), PROPOSED FIRE HYDRANTS, POWER TRANSFORMERS, SIDEWALKS OR ADA RAMPS WILL BE PLACED IN CONFLICT WITH AN ORDINANCE CODED OR APPROVED TREE PLANTING LOCATION.

COBB COUNTY IRRIGATION NOTES:

ALL ELECTRONIC LANDSCAPE IRRIGATION SYSTEMS INSTALLED AFTER JANUARY 1, 2005 MUST BE EQUIPPED WITH A RAIN SENSOR SHUT-OFF SWITCH IN ACCORDANCE WITH GEORGIA HB 1277.

THE INSTALLATION OF THE IRRIGATION SYSTEM OR HOSE BIBS (AS SPECIFIED ON THIS PLAN) WILL BE VERIFIED BY THE COUNTY ARBORIST PRIOR TO THE RELEASE OF THIS PROJECT FOR A CERTIFICATE OF OCCUPANCY.



W&A Engineering

CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE
 SURVEYING • SOIL AND ENVIRONMENTAL CONSULTING
 TRAFFIC ENGINEERING • ECONOMIC DEVELOPMENT

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 waengineering.com

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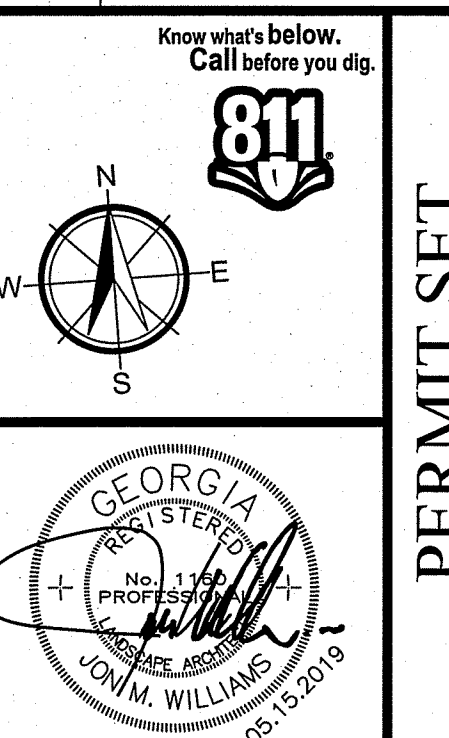
STARBUCKS KENNESAW

COBB COUNTY, GEORGIA
 4383 WAIDE GREEN ROAD - 0.708 ACRES

DATE: 04.03.2019

REVISIONS

DATE	COMMENT
05.08.19	REVISED PER COBB COUNTY COMMENTS



18365

TREE MANAGEMENT PLAN

L201

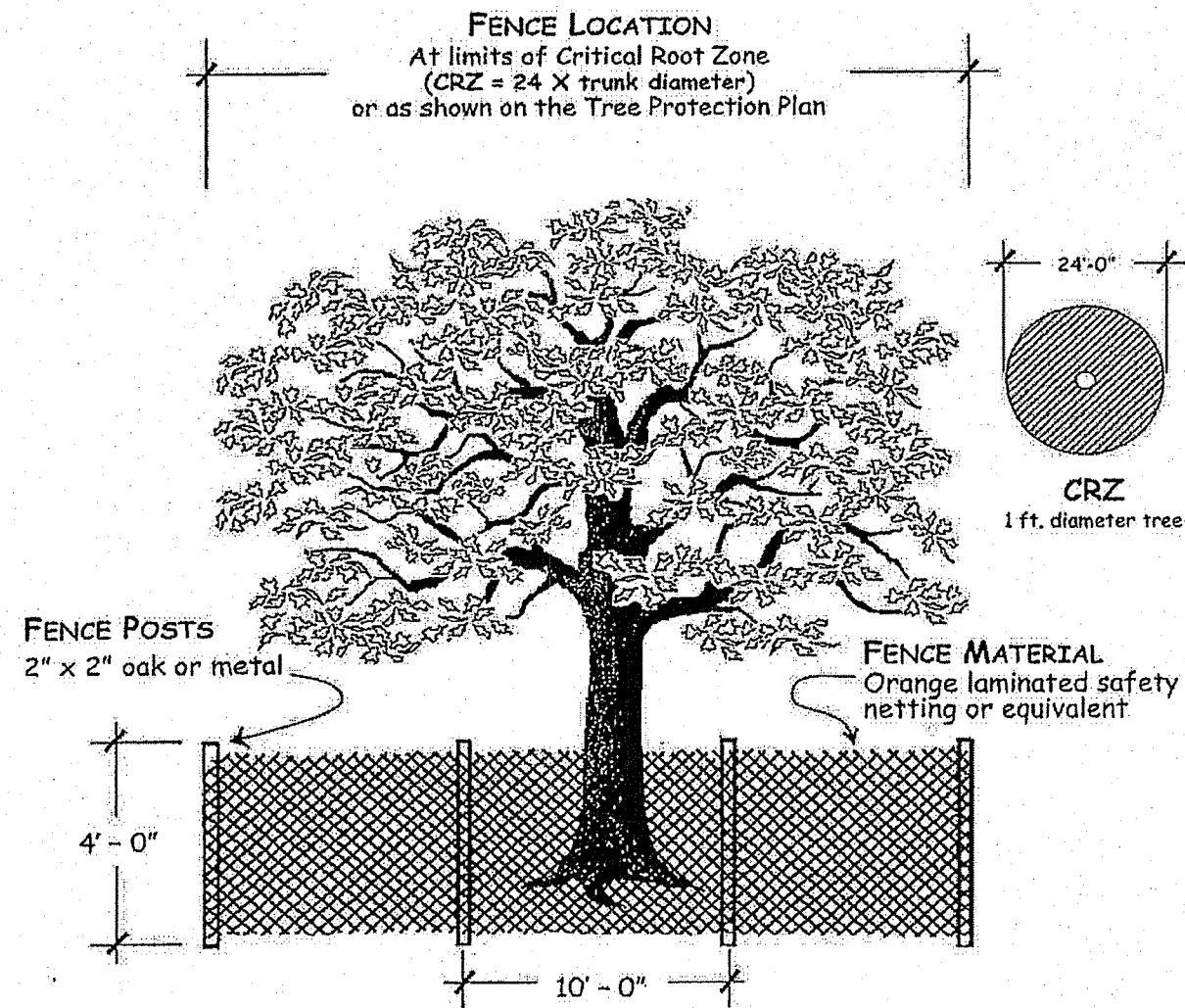
PERMIT SET



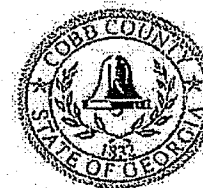
Detail 416 - 7
Community Development Agency
TREE PROTECTION FENCE

May, 2001
Effective Date

Typical Section



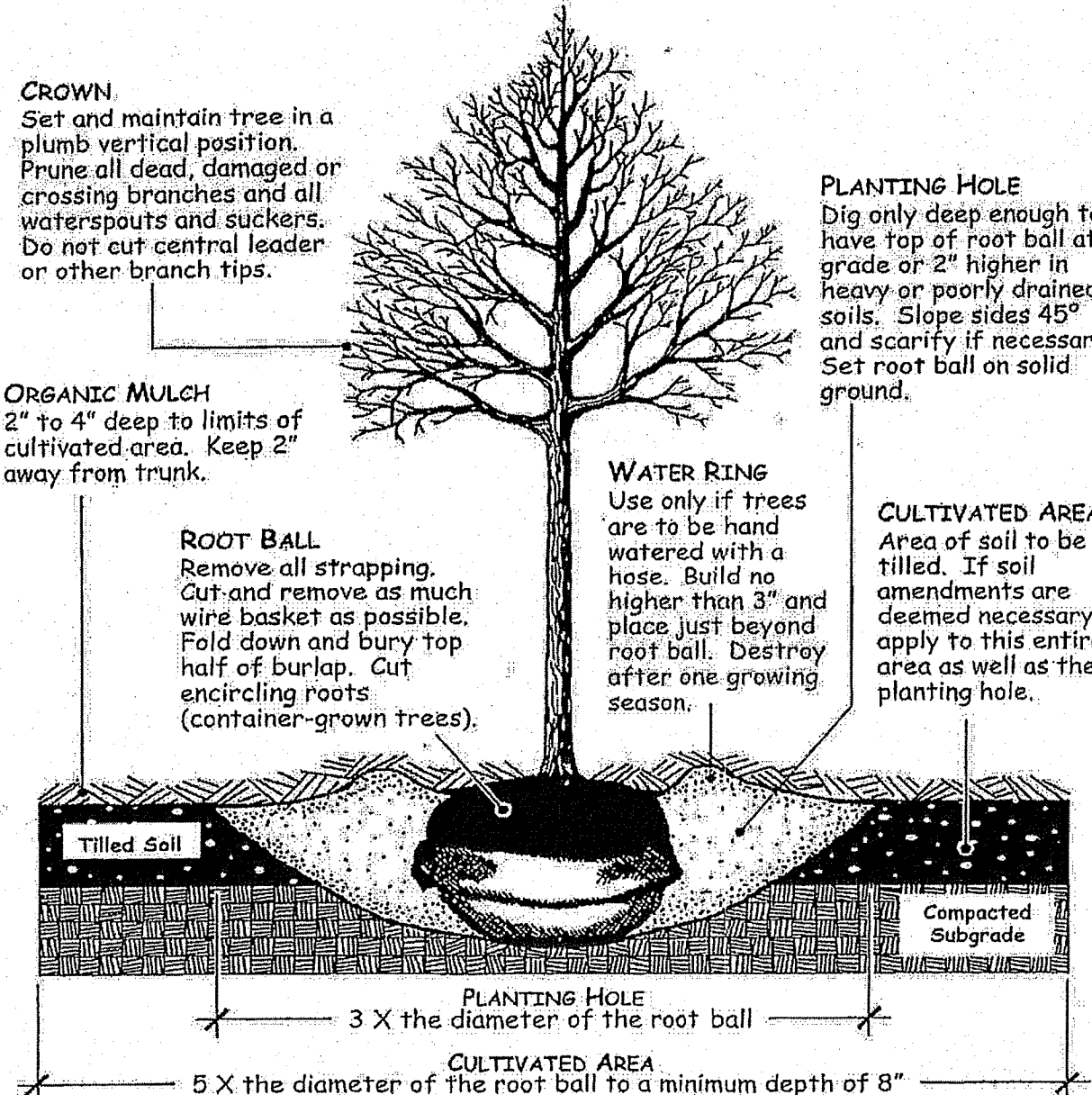
- FOR ADDED PROTECTION
- Provide 4" deep wood chip mulch over any unprotected root zone.
 - Make clean cuts on roots exposed by grading and backfill immediately.
 - Provide temporary irrigation where practical and feasible.



Detail 416 - 1
Community Development Agency
TREE PLANTING

May, 2001
Effective Date

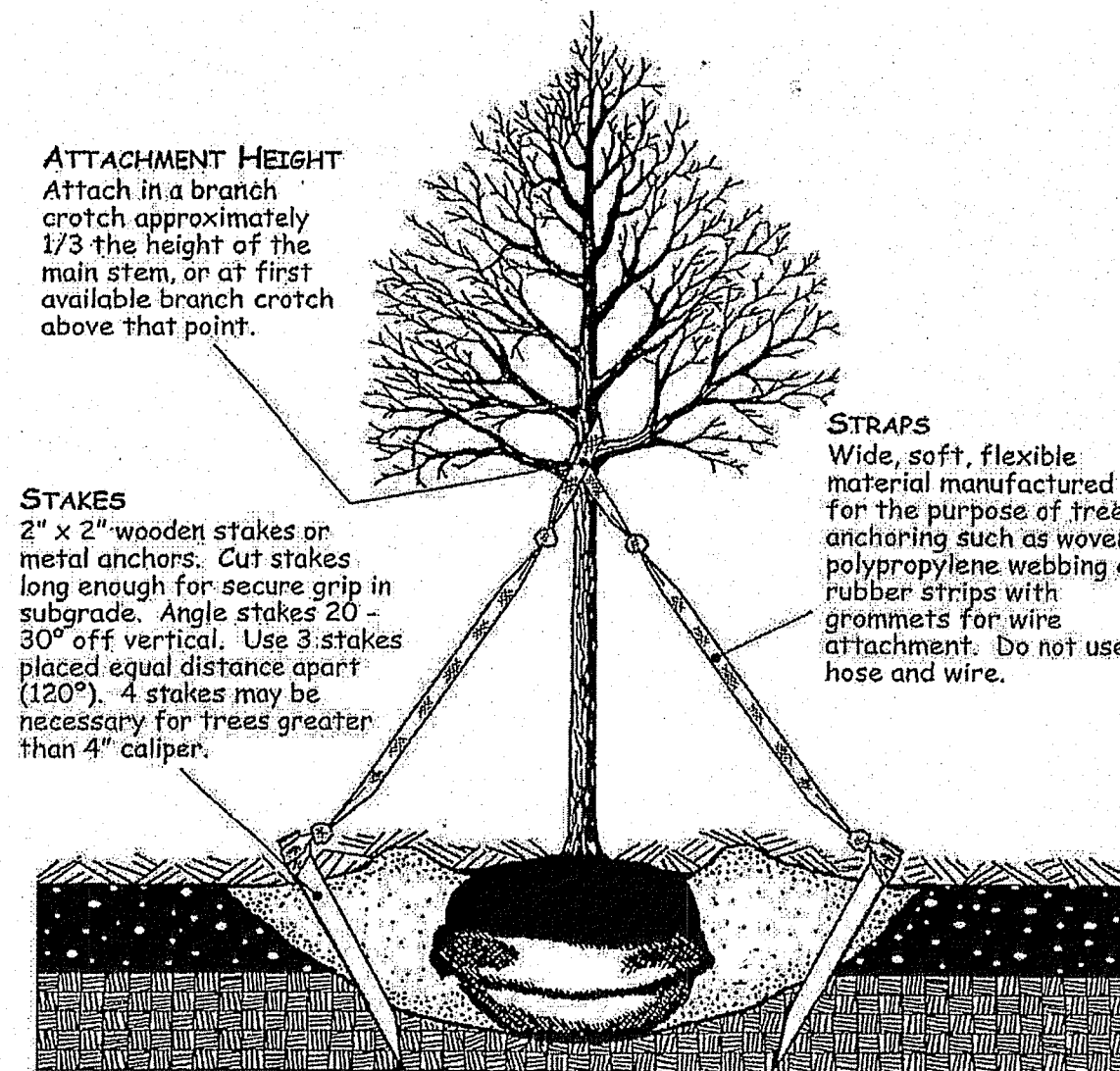
Typical Section



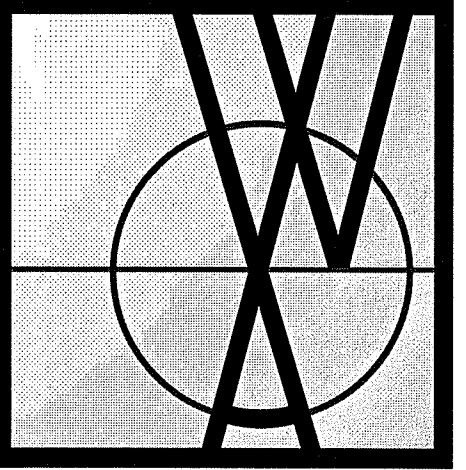
Detail 416 - 4
Community Development Agency
TREE ANCHORING - TYPE C
For trees larger than 2 inches caliper

May, 2001
Effective Date

Typical Section



Use anchoring systems only where wind or soil conditions make it necessary. Remove after one year.



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STARBUCKS KENNESAW

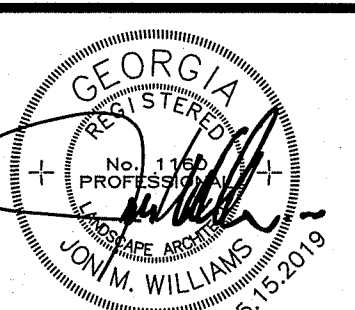
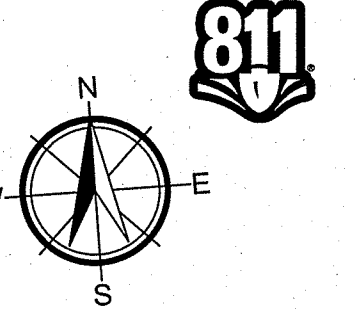
COBB COUNTY, GEORGIA
4383 WADE GREEN ROAD - 0.708 ACRES

DATE: 04.03.2019

REVISIONS

DATE	COMMENT
05.08.19	REVISED PER COBB COUNTY COMMENTS

Know what's below.
Call before you dig.



18365

LANDSCAPE DETAILS

L202

PERMIT SET

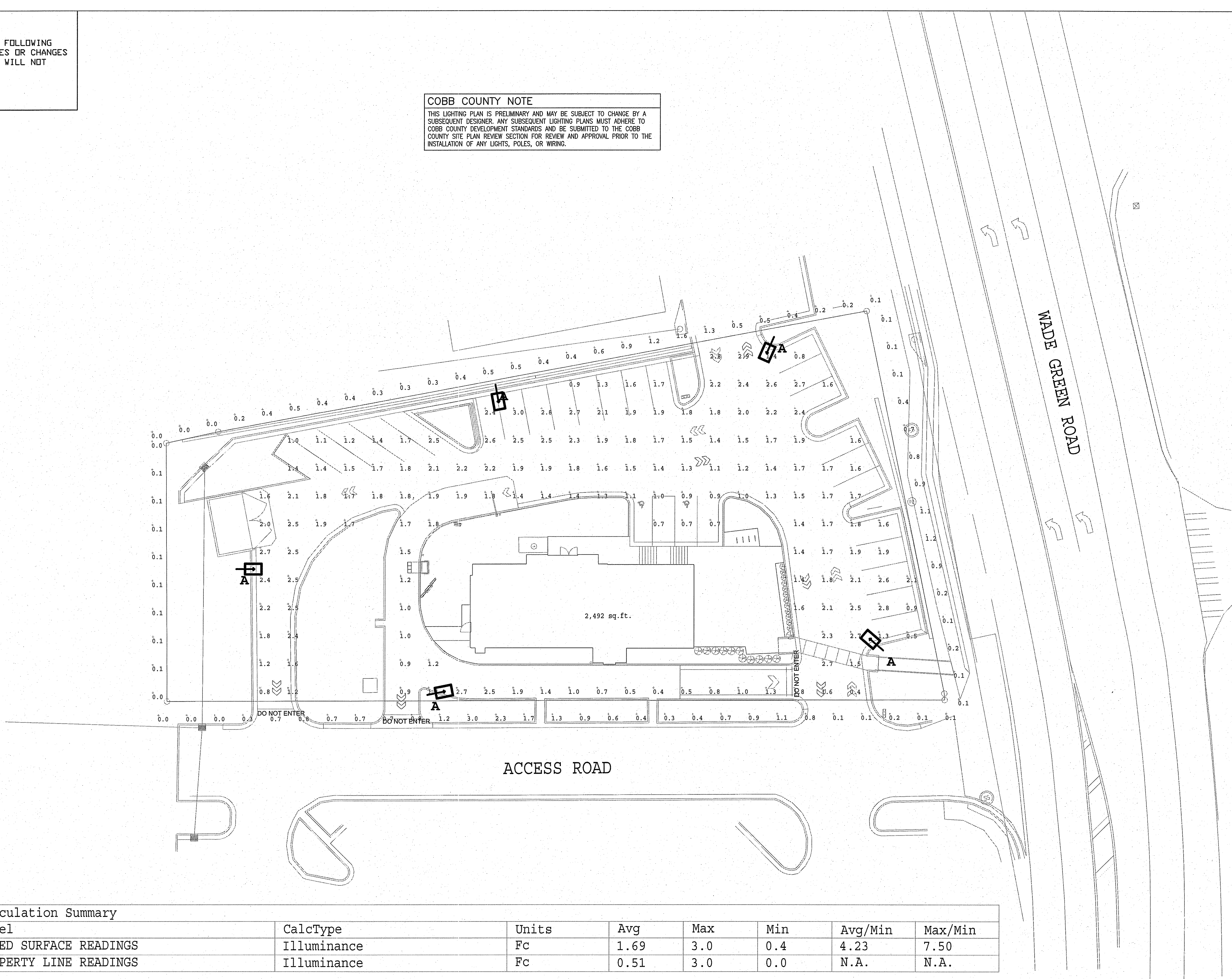
NOTES:

1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.

2. DISTANCE BETWEEN READINGS 10'

COBB COUNTY NOTE

THIS LIGHTING PLAN IS PRELIMINARY AND MAY BE SUBJECT TO CHANGE BY A SUBSEQUENT DESIGNER. ANY SUBSEQUENT LIGHTING PLANS MUST ADHERE TO COBB COUNTY DEVELOPMENT STANDARDS AND BE SUBMITTED TO THE COBB COUNTY SITE PLAN REVIEW SECTION FOR REVIEW AND APPROVAL PRIOR TO THE INSTALLATION OF ANY LIGHTS, POLES, OR WIRING.

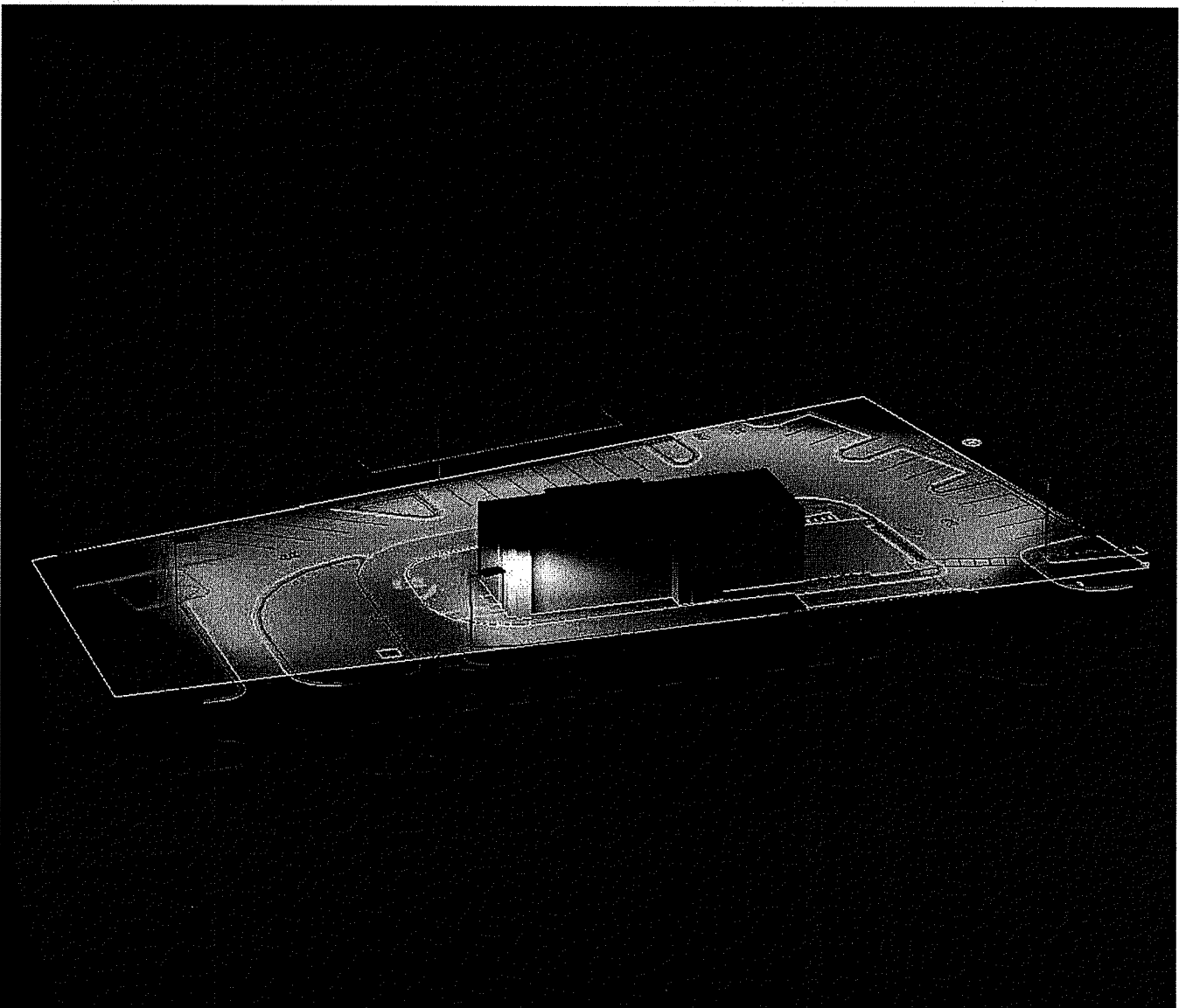


Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	1.69	3.0	0.4	4.23	7.50
PROPERTY LINE READINGS	Illuminance	Fc	0.51	3.0	0.0	N.A.	N.A.

Luminaire Schedule

Symbol	Qty	Label	LLF	Description
	5	A	0.900	VP-S-48L-110-4K7-4W



*** - SPECIFY COLOR

LABEL	FIXTURE TYPE	SYMBOL	FIXTURE QUANTITY	CONFIG	QUANTITY	TENDON TOP FITTERS	QUANTITY	EPA	MOUNTING HEIGHT	LLF	POLE TYPE	QUANTITY	WIND LOAD	ALLOWED EPA
A	VP-S-48L-110-4K-T4V-UNV-RA-***		5	SGL	5	TTFVIPER	5	0.67	20'	0.9	SES-18-40-1-TA-*** (4")	5	90mph	7.2

* PROJECT WIND LOAD CRITERIA BASED ON:
ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)
50 YEAR MEAN RECURRENCE INTERVAL

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.

2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.

3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.

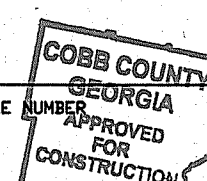


8100 Gulf Road, Suite 460, Rolling Meadows, IL 60008
1-800-544-6868

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES
SCALE 1" = 20' 0"

DRAWN BY MW

POINT-BY-POINT FOOTCANDLE PLOT FOR
STARBUCKS
WADE GREEN RD
KENNESAW, GA



DATE 4/12/19 DRAWING NUMBER

42255

APPLICATION FOR REZONING
TO THE
COBB COUNTY BOARD OF COMMISSIONERS OF ROADS AND REVENUES
AND THE
COBB COUNTY PLANNING COMMISSION
(type or print clearly)

Application No. #188
Hearing Date _____
Applicant Continental Southern Business Phone 393-1232 Home Phone 428-1840
(business name)
Samuel C. McCullough Address 1733 Mt. Vernon Rd., Atlanta, GA 30338
(representative's printed name)
Samuel C. McCullough Business Phone _____ Home Phone _____
(representative's signature)

Titleholder Hickory Partnership Business Phone 393-1232 Home Phone 442-1630
Signature Robert C. Givens Address 1733 Mt. Vernon Rd., Atlanta, GA 30338
(attach additional signatures, if needed)

Zoning Request From CF- R-20 To GC, O&I, LI
(present zoning) (proposed zoning)
For the Purpose of Shopping center, Warehouse/ Business Park & Offices Size of Tract 26.471 - GC acres(s)
(subdivision, restaurant, warehouse, apts., etc.) 26.32 - O&I
Location _____ (street address, if applicable, nearest intersection, etc.)
Land Lot(s) 54, 55 District 204A

Recommendation of Planning Commission 8/18/87 - Planning Commission recommended
application be approved subject to Staff recommendations and a 40 ft. planted and maintained
buffer be established on the property adjacent to the church. Motion by McAfee, seconded by
Vansant, carried 4-1. Christian opposed.

Samuel C. McCullough Chairman
Board of Commissioners' Decision 8/18/87 - Board of Commissioner held request for 30 days.
Motion by Clay, seconded by Paschal, carried 5-0. 10/20/87 - Board of Commissioners approved
application subject to letter of agreement marked Exhibit A on file in the Zoning Dept. submitted
by Applicant & Cobb D.O.T. to submit relocation plan of Hickory Grove Rd. back to Board of
Commissioners for approval. Motion by Paschal, seconded by Clay, carried 5-0.
Samuel C. McCullough Chairman

Mr. Mark Danneman
September 15, 1987
Page 3

Although this road request is not specifically required for our rezoning
request, it has been on the county plans for years, and has been recommended
by the County D.O.T. and our own consultants. It is our opinion that the
roads should be connected; if not now, at some later date.

Sincerely,
Samuel C. McCullough
Samuel C. McCullough
Vice President

Continental
Southern, Inc.

September 15, 1987

Mr. Mark Danneman
Cobb County Planning
and Zoning Department
47 Waddell Street
P.O. Box 649
Marietta, Georgia 30061

Subject: Rezoning #188 - Wade Green Road and Hickory Grove Road

Dear Mr. Danneman:

Per our meeting with Mr. Randy Halsey of the Traffic Engineering Department of Cobb D.O.T., Continental Southern, Inc. further stipulates and conditions the requests to the following:

Traffic

- To design relocated Hickory Grove Road to Cobb D.O.T. standards; i.e., 80' right-of-way with four (4) curb cuts on the north side of the proposed road and three (3) curb cuts on the south side of the proposed road. Curb cuts along Wade Green Road shall be limited to three (3), and a 25' landscape strip will be provided.
- No access to old Kuykendall Road.
- All construction traffic shall enter through Wade Green Road.
- Right-of-way on Wade Green Road is donated to be 50' from center-line.

Signs

- No outdoor billboards, flashing or portable signs.
- Signs for the shopping center shall be designed to provide a coordinated identity as to color and size.
- Free-standing signs shall be limited to one per site and a height of 25', with a maximum copy area of 60 sq. ft. per side.

400 Northpark Town Center
1000 Abernathy Road • Suite 310 • Atlanta, Georgia 30328 • 404-393-1232

Mr. Mark Danneman
September 15, 1987
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Buffers & Landscape

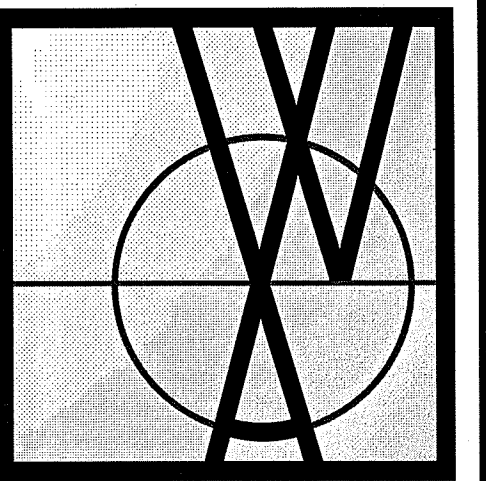
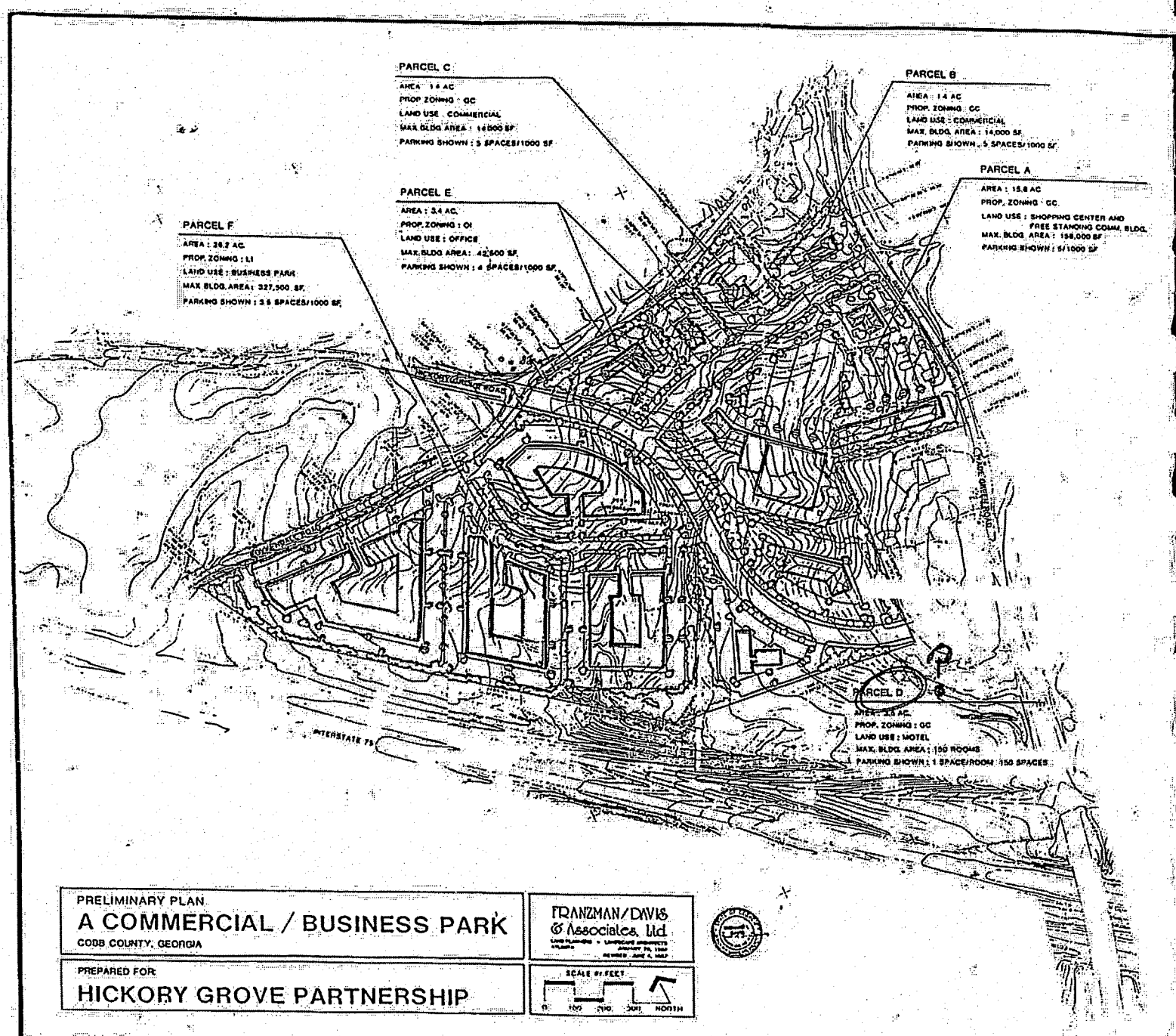
- A 25' planted landscape strip will be provided along Wade Green Road.
- A 40' natural, undisturbed, no-access buffer, planted to provide an effective visual screen, will be provided along Hickory Grove Road along the rears of Parcels C and E.
- A 25' buffer with a 6' solid wood fence will be provided next to the church on Wade Green Road.
- No woven metal or chain link fences shall be visible from Hickory Grove Road or the proposed road, and free-standing equipment and dumpsters shall be screened from view.

Use

- Parcel C, shown G-C (General Commercial) is requested to be deleted to NS (Neighborhood Shopping), with site plan approval by the Planning Department.
- No mini-warehouses (self-storage buildings).
- In Parcel F, zoned L-1 (Light Industry), all buildings will be of masonry or brick on three (3) sides visible from Hickory Grove Road or proposed roads.

This is a comprehensive request, and results from our working with the county and area for almost a year. The property is recommended on the Land Use Plan as commercial property, and is contiguous to existing commercial zoning and uses. Also shown on the Land Use Plan is the proposed road, being a portion of the transportation system serving the development along Interstate I-75.

Cobb D.O.T. requested this road relocation last year of our Traffic Engineer, RBA Group, during the initial rezoning request. This idea was not created in an attempt to merely serve our property with increased traffic. In fact, the future traffic projected is off-site, with properties already zoned north on Hickory Grove and Hamby Roads.



W&A
Engineering

CIVIL ENGINEERING • LANDSCAPE ARCHITECTURE
SURVEYING • SOIL AND ENVIRONMENTAL CONSULTING
TRAFFIC ENGINEERING • ECONOMIC DEVELOPMENT

2470 Daniels Bridge Road, Suite 161
Athens, GA 30606
P: (706) 310-0400 • F: (706) 310-0411
waengineering.com

ALL DRAWINGS SHALL REMAIN THE PROPERTY OF W&A ENGINEERING. THESE INSTRUMENTS OF SERVICE ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT. W&A ENGINEERING SHALL RETAIN ALL LEGAL RIGHTS TO THE USE OF THE INSTRUMENTS OF SERVICE AND SHALL RETAIN FULL PROTECTION UNDER UNITED STATES COPYRIGHT LAW.

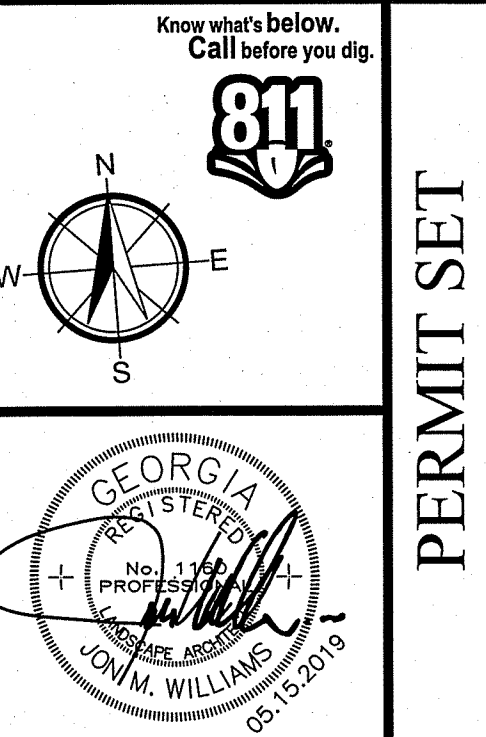
STARBUCKS KENNESAW

COBB COUNTY, GEORGIA
4383 WADE GREEN ROAD - 0.708 ACRES

DATE: 04.03.2019

REVISIONS

DATE	COMMENT
05.08.19	REVISED PER COBB COUNTY COMMENTS



18365

REZONING
CONDITIONS

RZ CD